

PORSCHE WILMINGTON

4920 NEW CENTRE DRIVE
WILMINGTON, NORTH CAROLINA 28403

CONSTRUCTION DOCUMENTS

JANUARY 2019

RECEIVED

JAN 16 2019

PLANNING DIVISION

Approved Construction Plan	
Name	Date
Planning <i>E. S. R.</i>	1-17-19
Traffic <i>R. S. R.</i>	1-17-19
Fire <i>R. S. R.</i>	1-17-19

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

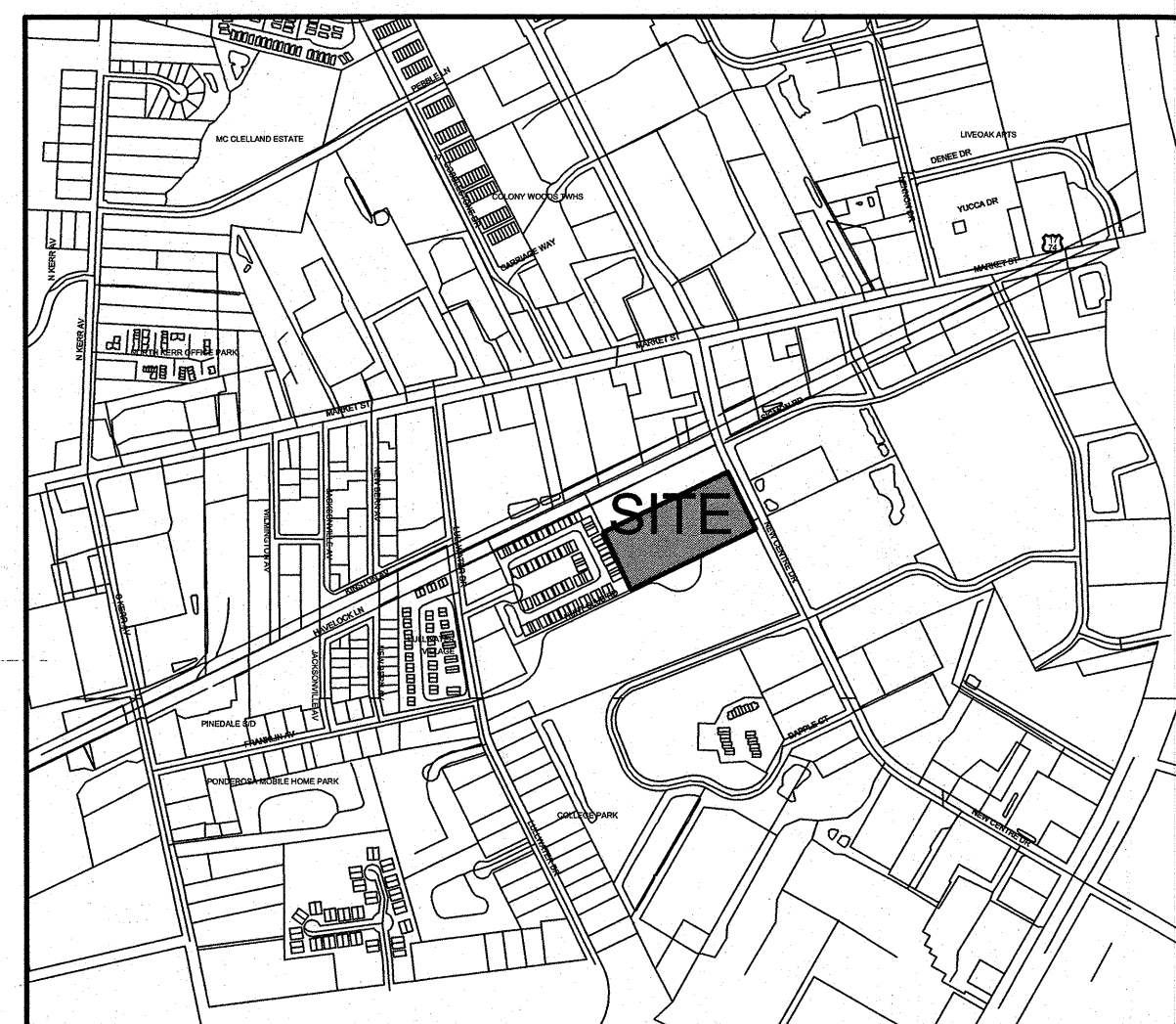
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: *1-17-19* Permit # *99032R2*

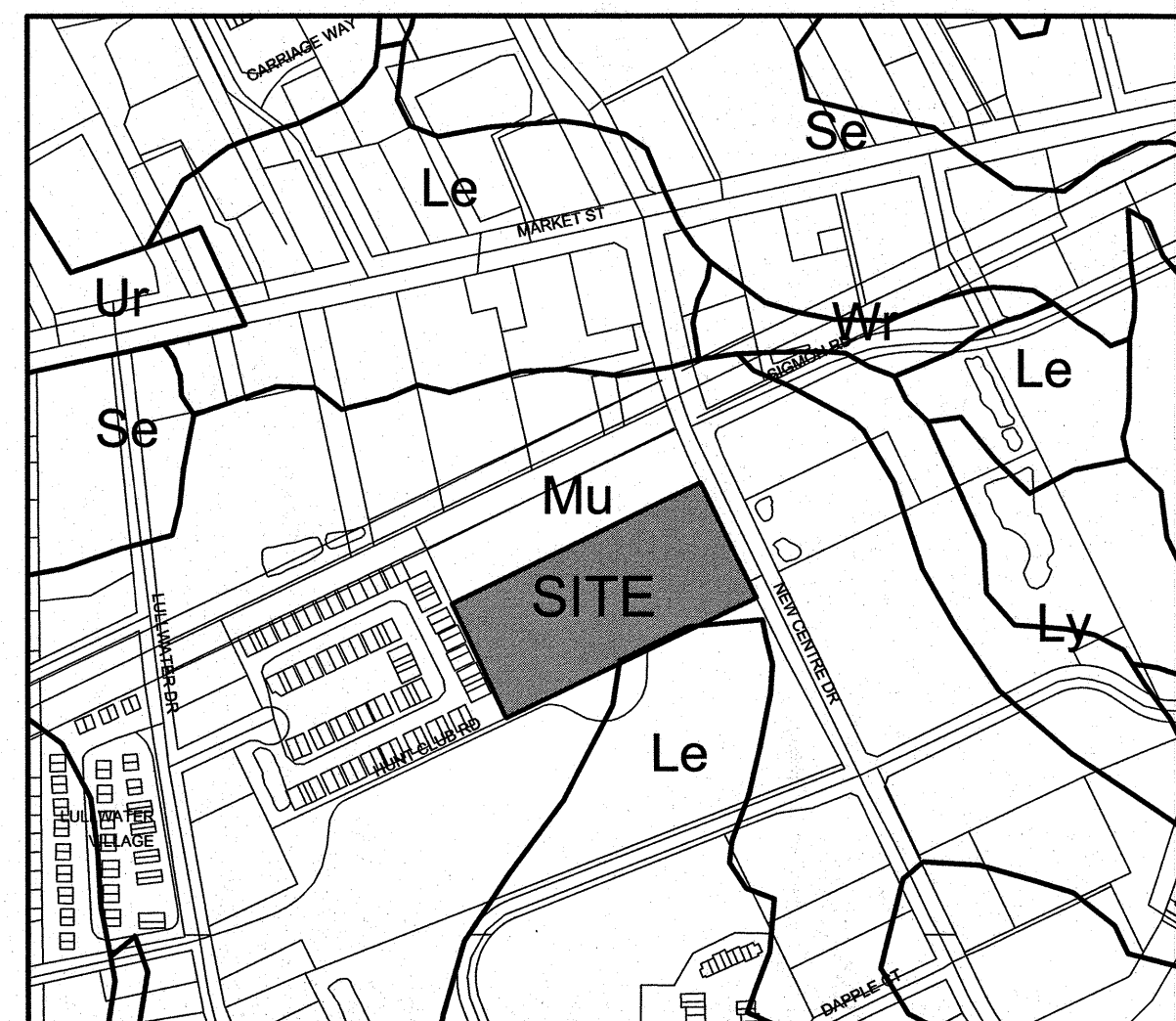
Signed: *E. S. R.*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



VICINITY MAP

SCALE: 1" = 1,000'



SOILS MAP

SCALE: 1" = 500'

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: ERYN FUTRAL, PLANNER
PH: 910-341-4695

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM
GENERAL PH: 800-892-4357

OWNER / DEVELOPER:
BAKER MOTOR COMPANY
1511 SAVANNAH HIGHWAY
CHARLESTON, SOUTH CAROLINA 29407
ATTN: DIXON DICKENS, PH: (810) 392-2700

ENGINEER (CIVIL), SURVEY & LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROB BALLAND, P.E. (910) 791-6707 (CIVIL)
ATTN: ALLISON ENGBRETSON, ASLA (LANDSCAPE ARCHITECT)

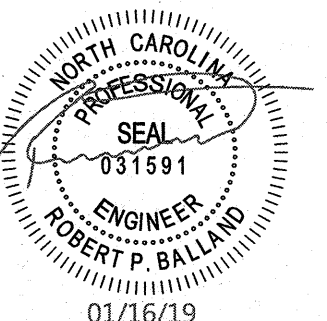
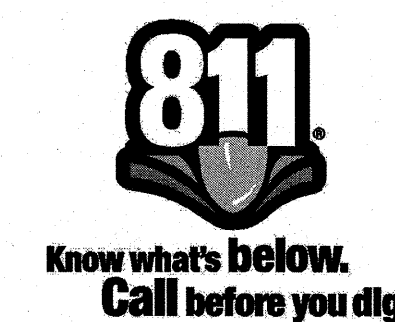
SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-2.1	SITE INVENTORY PLAN
C-2.2 & C-2.3	PH. I & PH. II DEMOLITION PLANS
C-3.0	GRADING-DRAINAGE-EC PLAN
C-4.0	UTILITY PLAN
C-5.0 - C-5.5	DETAILS
L-1.0	LANDSCAPE PLAN

PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 18204.PE



ISSUED FOR CONSTRUCTION

COORDINATION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

1. BOUNDARY AND EXISTING CONDITIONS. TREE INVENTORY, TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNT ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL OBTAIN TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
15. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CPFA, RESPECTIVELY.
17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
21. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

NCDENR PWSS WATER PERMIT #:
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #:
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT:
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

CITY OF WILMINGTON
NORTH CAROLINA
Public Service • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 1-17-19 Permit # 99032R2
Signed: E-S-02

Approved Construction Plan
Name: _____ Date: _____
Planning: _____ 1-17-19
Traffic: _____ 1-17-19
Fire: _____ 1-17-19

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NC DENR'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK-AREA SHALL BE STABILIZED IMMEDIATELY.

DEMOLITION NOTES:

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DRAINAGE OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
11. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
12. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
14. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

TRAFFIC NOTES:

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-8868 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY- EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

STABILIZATION TIME FRAMES:

"IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT.

NPDES WATER QUALITY STABILIZATION TIME FRAMES			
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS	
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE	
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE	
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH	
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HOW ZONES	

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED; WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.

1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEFORE THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT FENCE TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.
6. INLET PROTECTION - SILT SACKS - REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. IF CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, SIMPLY LIFT THE UNIT USING LIFTING STRAPS AND REMOVE THE GRATE, AND IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.
7. SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PILING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
8. SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
9. OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
10. EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOIDS IN THE RIP RAP LINED AFPORES, RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
12. CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOW. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT. - FEB.	BY SOIL TEST
CENTPEDE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST
SLOPES >= 2:1 CENTPEDE SERICEA LESPEDEZA	5 20	JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT. - APR.	400 LBS/AC. 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
GERMAN OR BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
STRAW MULCH AS NEEDED	4,000		

NC ACCESSIBILITY NOTES:

GENERAL NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNT ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBILITY ROUTE NOTES:

1. AT LEAST ONE ACCESSIBILITY ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBILITY ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBILITY ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBILITY ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBILITY ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBILITY ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROXIMATING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. * SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBILITY ROUTES"
9. AN ACCESSIBILITY ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM SPACE OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBILITY ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBILITY ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBILITY ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

1. ANY PART OF AN ACCESSIBILITY ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. "NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBILITY ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2)."
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/2 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD.

PARKING SPACE NOTES:

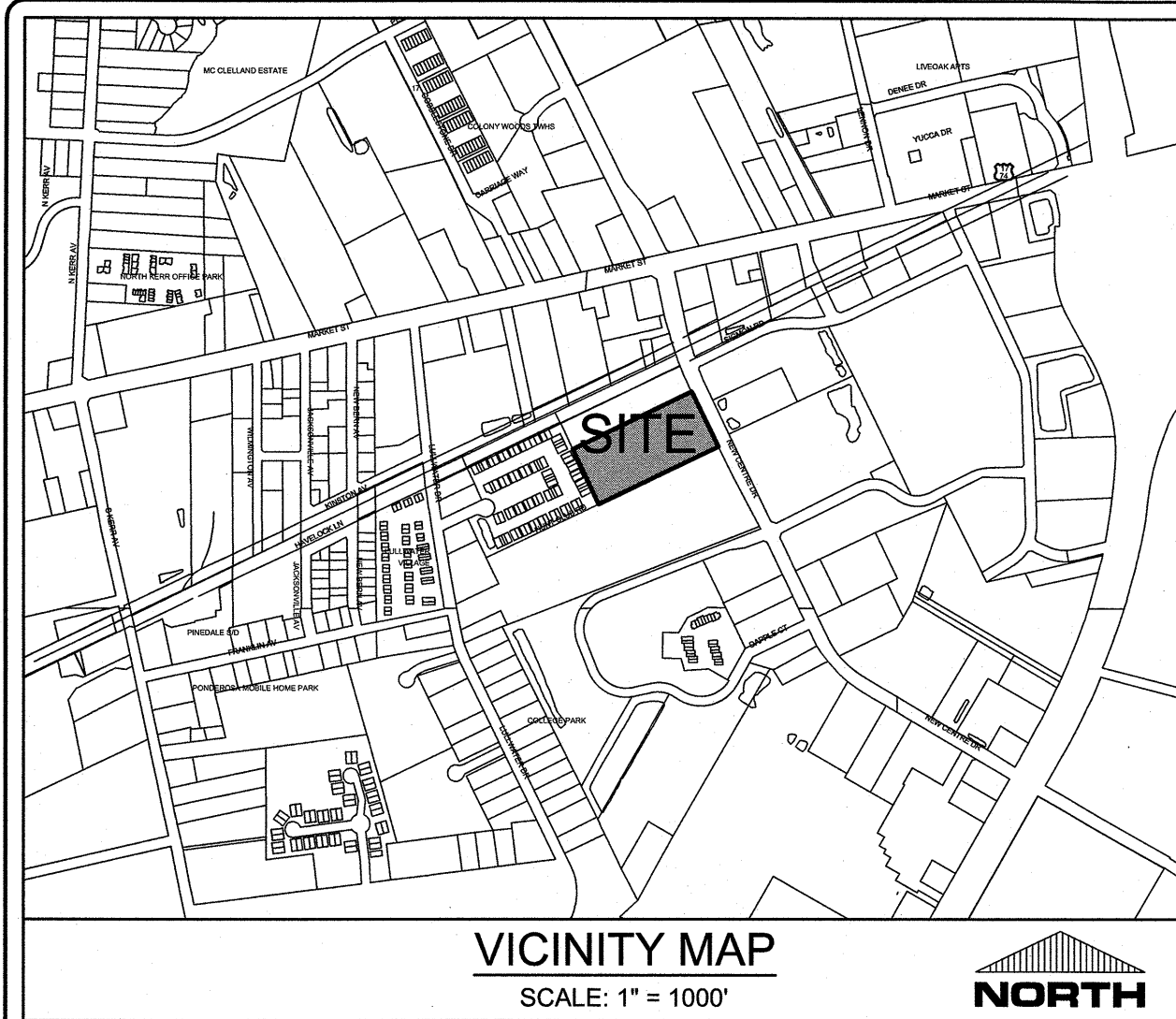
1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBILITY ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBILITY ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERRED THAT THE ACCESSIBILITY ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBILITY ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBILITY ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1108.1 SHALL COMPLY WITH THE NORTH CAROLINA GENERAL STATUTE 20-376 AND 138-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

PASSENGER LOADING ZONE NOTES:

1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBILITY ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ACCESSIBLE PARKING SPACE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE



VICINITY MAP
SCALE: 1" = 1000'



SITE INFORMATION

OWNER INFORMATION:

JASPER BOULEVARD, LLC
1511 SAVANNAH HIGHWAY
CHARLESTON, SC 29407

PROJECT NAME:

PORSCHE WILMINGTON

PROJECT ADDRESS:

4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403

TAX PARCEL IDENTIFICATION #:

R04915-003-003-001

RECORDED DEED BOOK:

BK 5911, PG 2564

CURRENT ZONING:

RB-REGIONAL BUSINESS

EXISTING USE:

551 - RETAIL AUTO

PROPOSED USE:

551 - RETAIL AUTO

TOTAL SITE AREA:

5.97+/- ACRES OR 259,874 SF

FLOOD INFORMATION:

THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD
HAZARD AREA AS DETERMINED BY FEMA FLOOD
PANEL 3720313700 J, DATED APRIL 3, 2006

CAMA LAND USE CLASSIFICATION:

URBAN

SPECIAL HIGHWAY DISTRICT:

N/A

BUILDING SETBACKS RB:

	REQUIRED	PROVIDED
FRONT	25'	120.3'
INTERIOR SIDE	07/20/28'	129.2'
CORNER SIDE	25'	87.2'
REAR	15/25/28'	482'

BUILDING AREA EX. BLDG'S.
BUILDING AREA PROP. BLDG.
TOTAL BUILDING AREA
BUILDING LOT COVERAGE
BUILDING HEIGHT
CONSTRUCTION TYPE
BUILDING WILL HAVE SPRINKLER SYSTEM

21,180 SF
12,654 SF
33,834 SF
40.0% MAX.
28'-0"
II-B

IMPERVIOUS INFORMATION

IMPERVIOUS TO BE REMOVED

CONCRETE SIDEWALKS	3,588 SF
ROADWAYS/DRIVEWAYS	9,654 SF
BUILDINGS	35,095 SF
SUB-TOTAL	48,373 SF

IMPERVIOUS TO REMAIN

CONCRETE SIDEWALKS	413 SF
ROADWAYS/DRIVEWAYS	80,073 SF
BUILDINGS	21,180 SF
SUB-TOTAL	101,666 SF
TOTAL EXISTING IMPERVIOUS	150,039 SF (3.44 AC)

PROPOSED IMPERVIOUS

SIDEWALKS/CONCRETE	461 SF
ASPHALT PARKING LOT	32,693 SF
BUILDINGS	15,010 SF
TOTAL PROPOSED IMPERVIOUS	48,164 SF (1.11 AC)

OFF-SITE SIDEWALK 86 SF

EX. IMPERVIOUS TO REMAIN + PROPOSED IMPERVIOUS: 101,666 SF + 48,164 SF = 149,830 SF < 150,039 SF

PROPOSED PERCENT IMPERVIOUS = 149,830 / 259,874 SF = 57.7%

SITE PARKING

AUTOMOTIVE DEALER
MINIMUM PARKING REQUIRED:
(1 PER 500 SF GFA)

68 SPACES

MAXIMUM PARKING ALLOWABLE:

*USE 150% OF MIN. PARKING REQUIRED

102 SPACES

TOTAL PARKING PROVIDED:

63 CUSTOMER & EMPLOYEE SPACES
57 PRODUCT DISPLAY & SERVICE SPACES

120 SPACES

HANDICAP PARKING REQUIRED:

HANDICAP PARKING PROVIDED:

3 SPACES (CUSTOMER/EMPLOYEE ONLY)
3 SPACES

BICYCLE PARKING REQUIRED:

BICYCLE PARKING PROVIDED:

5 SPACES
5 SPACES

GENERAL NOTES

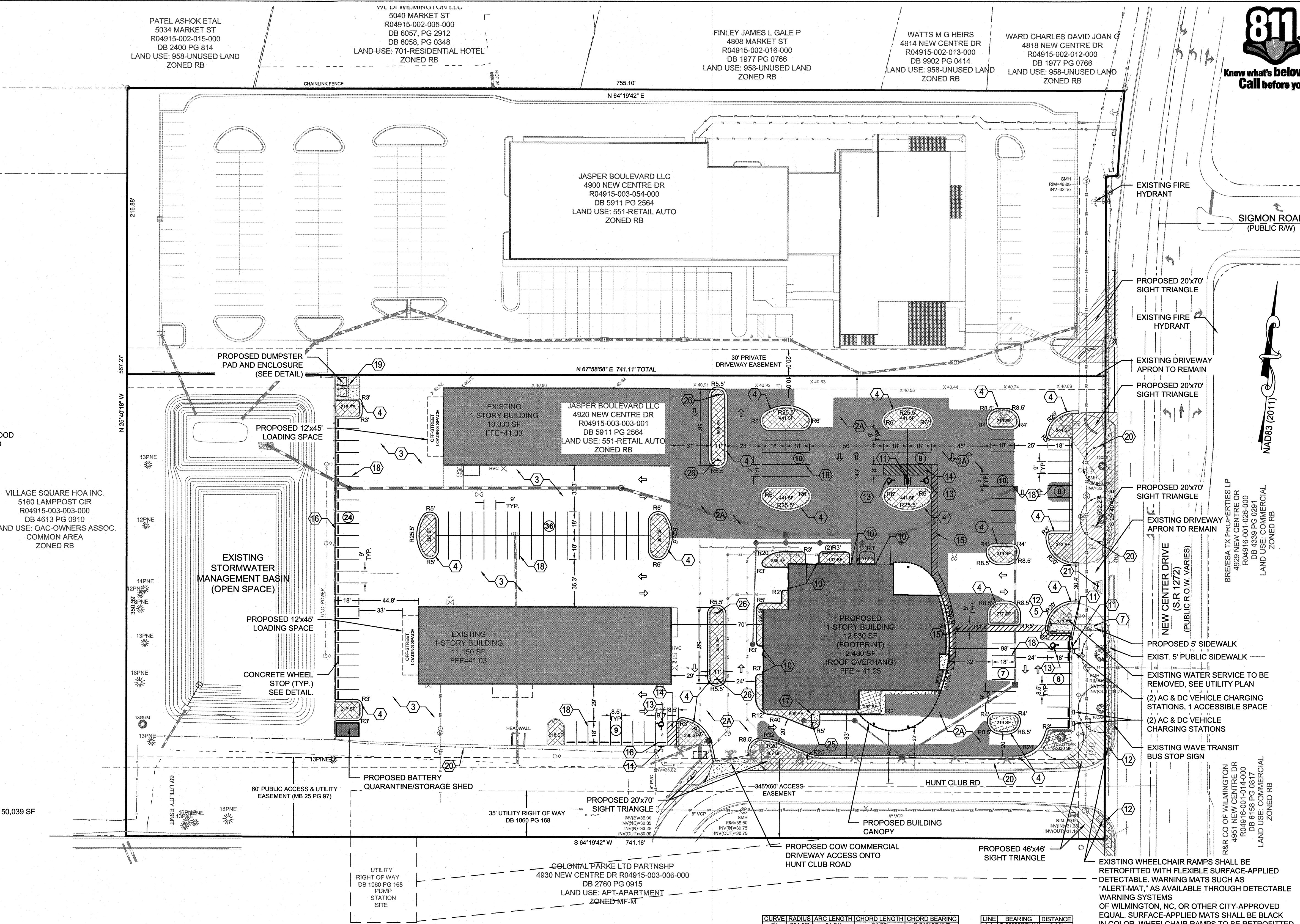
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- NO EXISTING TREES ON SITE.
- SEE C-2.2 PLANTING PLAN FOR LANDSCAPING INFORMATION.
- THERE ARE NO PROPOSED WASTE FACILITIES ON SITE.
- THERE IS NO PROPOSED STREET LIGHTING FOR THIS SITE.

WATER AND SEWER CAPACITY

20 EMPLOYEES @ 25 GAL/EMPLOYEE/DAY = 500 GPD
12 VISITORS @ 25 GAL/EMPLOYEE/DAY = 300 GPD
TOTAL: 800 GPD

TRASH REMOVAL

TRASH WILL BE HANDLED BY DUMPSTER SERVICE AND IS LOCATED IN THE REAR OF THE SITE.



KEY NOTES:

- CONCRETE PAVING:
REFER TO DETAIL C-5.0
- LIGHT DUTY ASPHALT PAVING:
REFER TO DETAIL C-5.0
- PERVIOUS CONCRETE:
REFER TO DETAIL C-5.0
- ASPHALT OVERLAY AREA:
REFER TO DETAIL C-5.0
- ASPHALT SEAL COAT:
REFER TO TECHNICAL SPECIFICATIONS
- STANDARD 24" CURB & GUTTER:
REFER TO DETAIL C-5.0
- HANDICAP RAMP (SIDEWALK):
SEE DETAIL C-5.0
- TRANSITION CURB DETAIL:
SEE DETAIL C-5.0
- CONCRETE SIDEWALK:
REFER TO DETAIL C-5.0
- CONCRETE DOOR LANDING:
SEE ARCHITECTURAL
- EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL:
SEE DETAIL C-5.0
- STEEL BOLLARD:
REFER TO ARCHITECTURAL DRAWINGS
- HANDICAP PARKING SIGN:
REFER TO DETAIL C-5.0
- DETECTABLE WARNING MAT:
REFER TO DETAIL C-5.0
- HANDICAP PARKING SYMBOL:
REFER TO DETAIL C-5.0
- HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- DESIGNATED ACCESSIBLE ROUTE:
PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.
- CONCRETE BUMPER BLOCK:
8"x4"x6" LONG CONCRETE.
ANCHOR TO PAVING WITH (2) 1"x6" LONG #4 REBAR.
REFER TO DETAIL C-5.0
- BICYCLE RACK (5 BIKE MIN. PER RACK):
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL
- STRIPING:
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- PROPOSED DUMPSTERS & ENCLOSURE:
REFER TO DETAILS C-5.1
- PROPOSED PROTECTION FENCING:
REFER TO DETAIL C-5.2
- SIGNAGE (RIGHT OUT ONLY):
PER MUTCD STANDARDS AND SPECIFICATIONS
- PARKING LOT SITE LIGHTING:
BY OTHERS
- SIGNAGE:
'VEHICLE CHARGING STATIONS' CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL
- SIGNAGE:
'SERVICE' DIRECTIONAL SIGN CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL
- SIGNAGE (ONE-WAY DO NOT ENTER):
PER MUTCD STANDARDS AND SPECIFICATIONS

- SIGNAGE (KEEP RIGHT R4-7):
PER MUTCD STANDARDS AND SPECIFICATIONS

NCDENR PWSS WATER PERMIT #:
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #:
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT:
SEWER TO FLOW THROUGH NE: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 1-17-19 Permit # 99032R2
Signed: E. S. Lee

Approved Construction Plan
Name: _____ Date: _____
Planning: _____ 1-17-19
Traffic: _____ 1-17-19
Fire: _____ 1-17-19

LEGEND:	
	PROPOSED ASPHALT OVERLAY
	PROPOSED ASPHALT SEALING
	PROPOSED ASPHALT SECTION
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE ISLAND
	PROPOSED TREE PROTECTION FENCE
	PARKING SPACE COUNT

GRAPHIC SCALE
0 20 40 80 160
SCALE: 1"=40'



Know what's below.
Call before you dig.

EXISTING FIRE HYDRANT

SIGMON ROAD (PUBLIC R/W)

PROPOSED 20'x70' SIGHT TRIANGLE

EXISTING FIRE HYDRANT

EXISTING DRIVEWAY APRON TO REMAIN

PROPOSED 20'x70' SIGHT TRIANGLE

EXISTING DRIVEWAY APRON TO REMAIN

PROPOSED 20'x70' SIGHT TRIANGLE

EXISTING DRIVEWAY APRON TO REMAIN

PROPOSED 20'x70' SIGHT TRIANGLE

EXISTING DRIVEWAY APRON TO REMAIN

PROPOSED 20'x70' SIGHT TRIANGLE

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PROPOSED 20'x70' SIGHT TRIANGLE

EXISTING DRIVEWAY APRON TO REMAIN

PROPOSED 20'x70' SIGHT TRIANGLE

REVISIONS:

IS3P ASSOCIATES LTD.
101 N. THIRD ST., SUITE 500
WILMINGTON, NC 28401

PARAMOUNT
ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

SITE PLAN
PORSCHE WILMINGTON
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403

PROJECT STATUS

CONCEPT

PRELIMINARY LAYOUT

RELEASED FOR CONSTRUCTION

DATE: 01/16/19

SCALE: 1"=40'

ACED

DRAWN

CHECKED

01/16/19

01/16/19

01/16/19

01/16/19

01/16/19

01/16/19

01/16/19

01/16/19

01/16/19

01/16/19

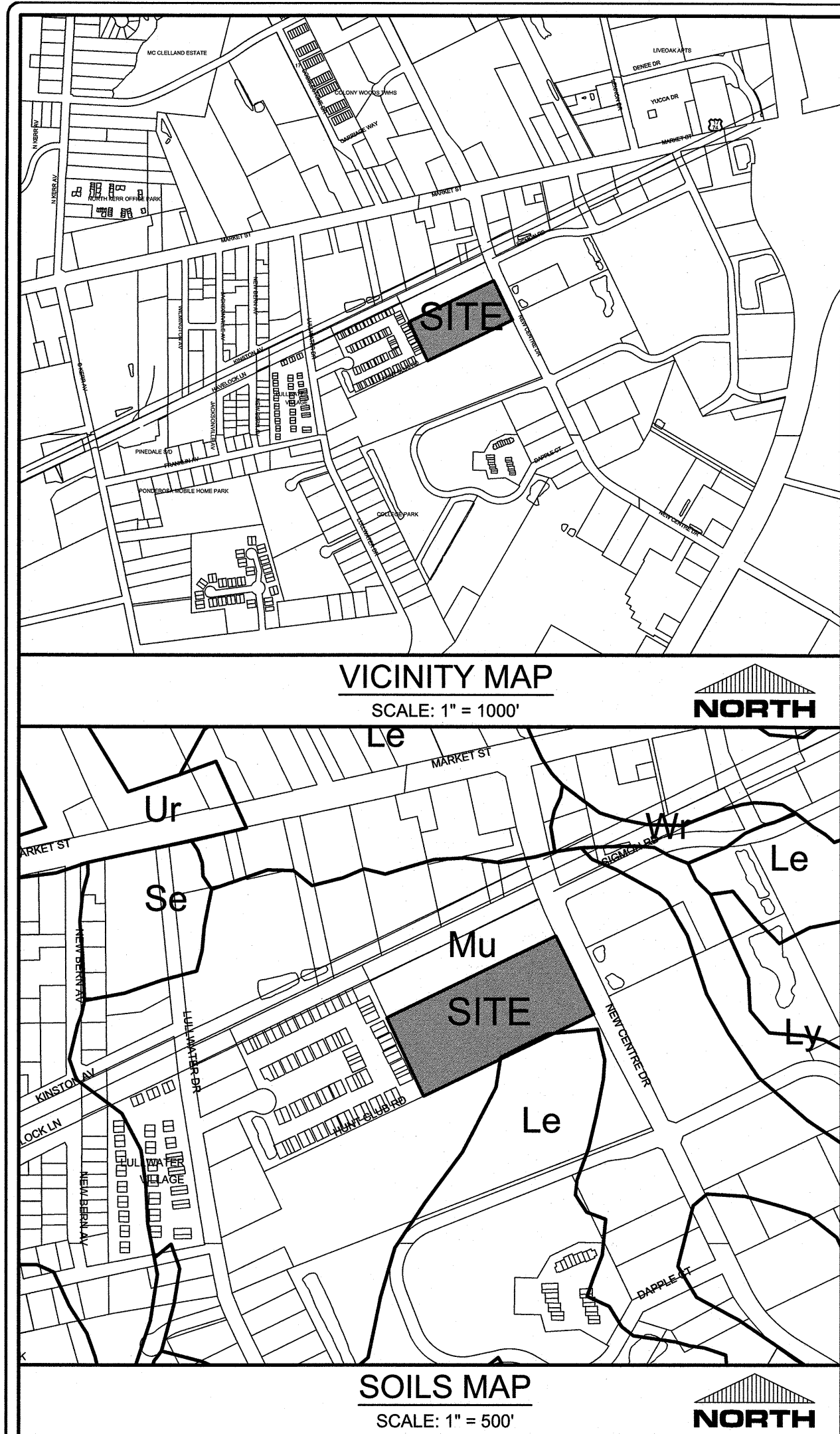
01/16/19

01/16/19

C-2.0

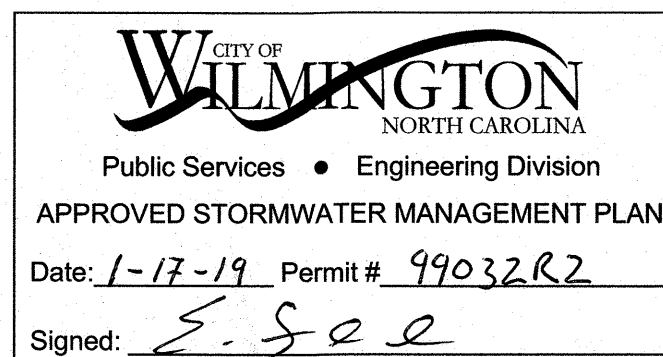
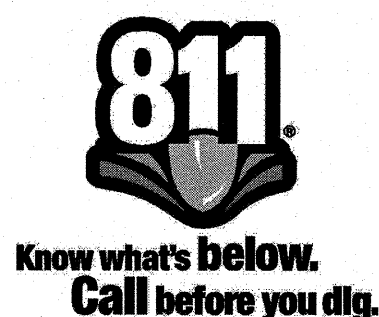
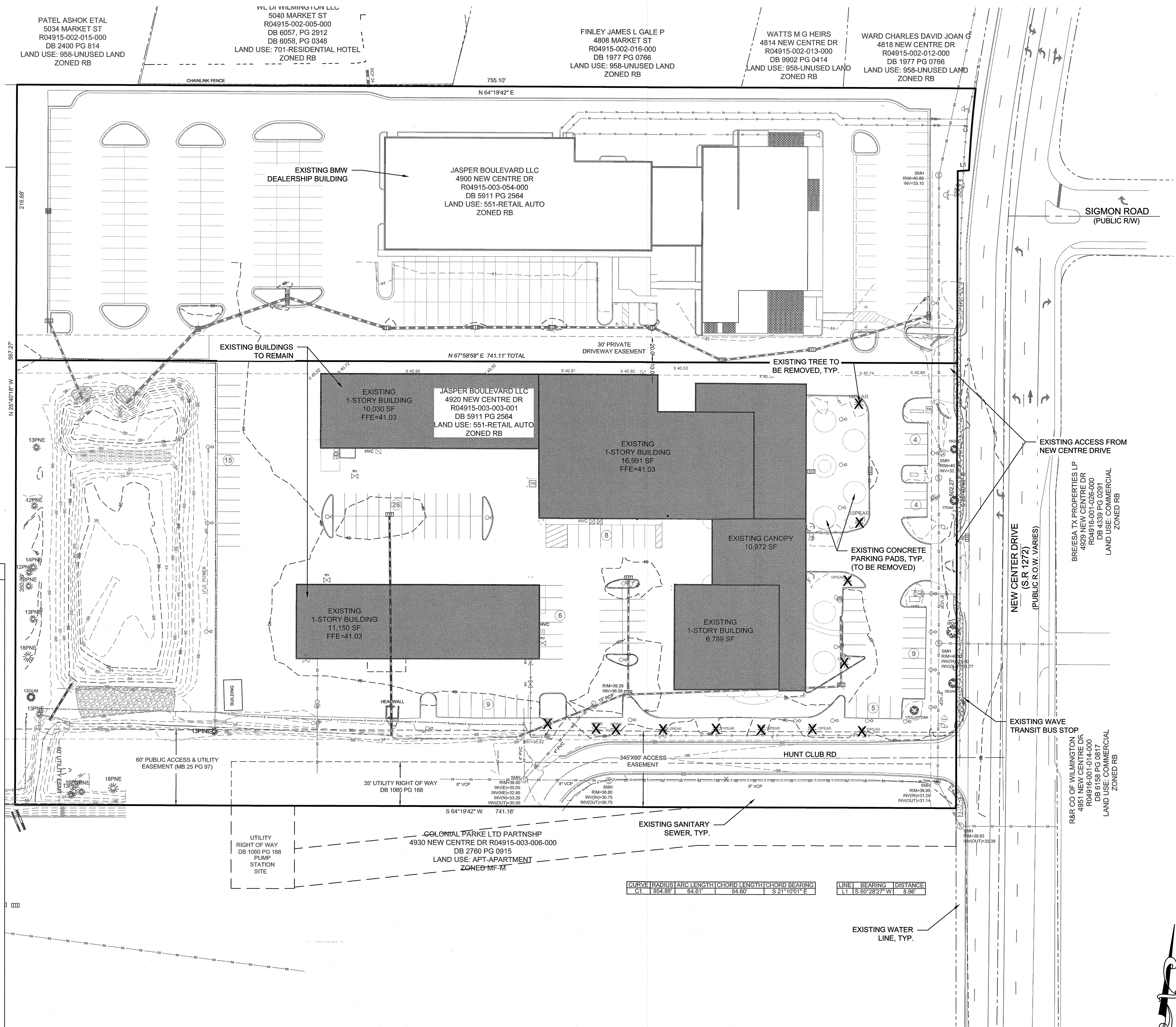
PEI JOB#: 18204.PE

ISSUED FOR CONSTRUCTION



SITE INVENTORY DATA

1. PREPARER OF THE PLAN: PARAMOUNTE ENGINEERING
122 CINEMA DRIVE
WILMINGTON, NC 28403
2. APPLICANT NAME: JASPER BOULEVARD, LLC
1511 SAVANNAH HIGHWAY
CHARLESTON, SC 29407
3. SITE ADDRESS: 4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403
4. PROPERTY OWNER: JASPER BOULEVARD, LLC
1511 SAVANNAH HIGHWAY
CHARLESTON, SC 29407
5. DEVELOPER: SAME AS OWNER
6. PROPERTY BOUNDARY: SEE PLAN
7. ZONING: RB- REGIONAL BUSINESS
8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
9. VICINITY MAP: SEE MAP ABOVE
10. TOPOGRAPHY: SEE PLAN
11. 100 YEAR FLOOD PLAIN BOUNDARY: SITE IS NOT LOCATED IN THE
100 YEAR FLOOD PLAIN
12. LOCATION OF EXISTING DITCHES,
CREEKS, AND STREAMS: N/A
13. SOILS: MURVILLE FINE SAND (Mu)
LEON SAND (Le)
(SEE SOILS MAP ABOVE)
14. CAMA AEC & ASSOCIATED SETBACKS: N/A
15. CAMA LAND CLASSIFICATION: URBAN
16. CONSERVATION RESOURCES: N/A
17. LOCAL, STATE, OR FEDERAL
HISTORIC OR ARCHAEOLOGICAL SITE: N/A
18. LOCATION OF CEMETERIES,
BURIAL SITES, OR BURIAL GROUNDS: N/A
19. SQUARE FOOTAGE OF FORESTED
AREA, HABITAT, AND DOMINANT SPECIES: N/A
20. SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
21. PROTECTED SPECIES OR HABITAT: N/A
22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT
FACILITIES (EXISTING OR PROPOSED): SEE PLAN & VICINITY MAP



Approved Construction Plan

Name _____ Date _____

Planning _____ 1-17-19

Traffic _____ 1-17-19

Fire _____ 1-17-19

NCDENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

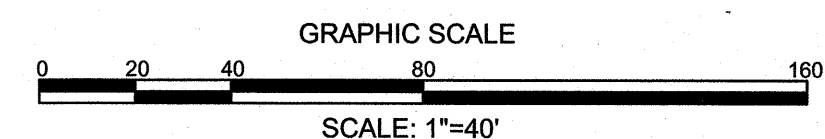
DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.



ISSUED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:

PARAMOUNTE ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

SITE INVENTORY PLAN

PORSCHKE WILMINGTON
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403

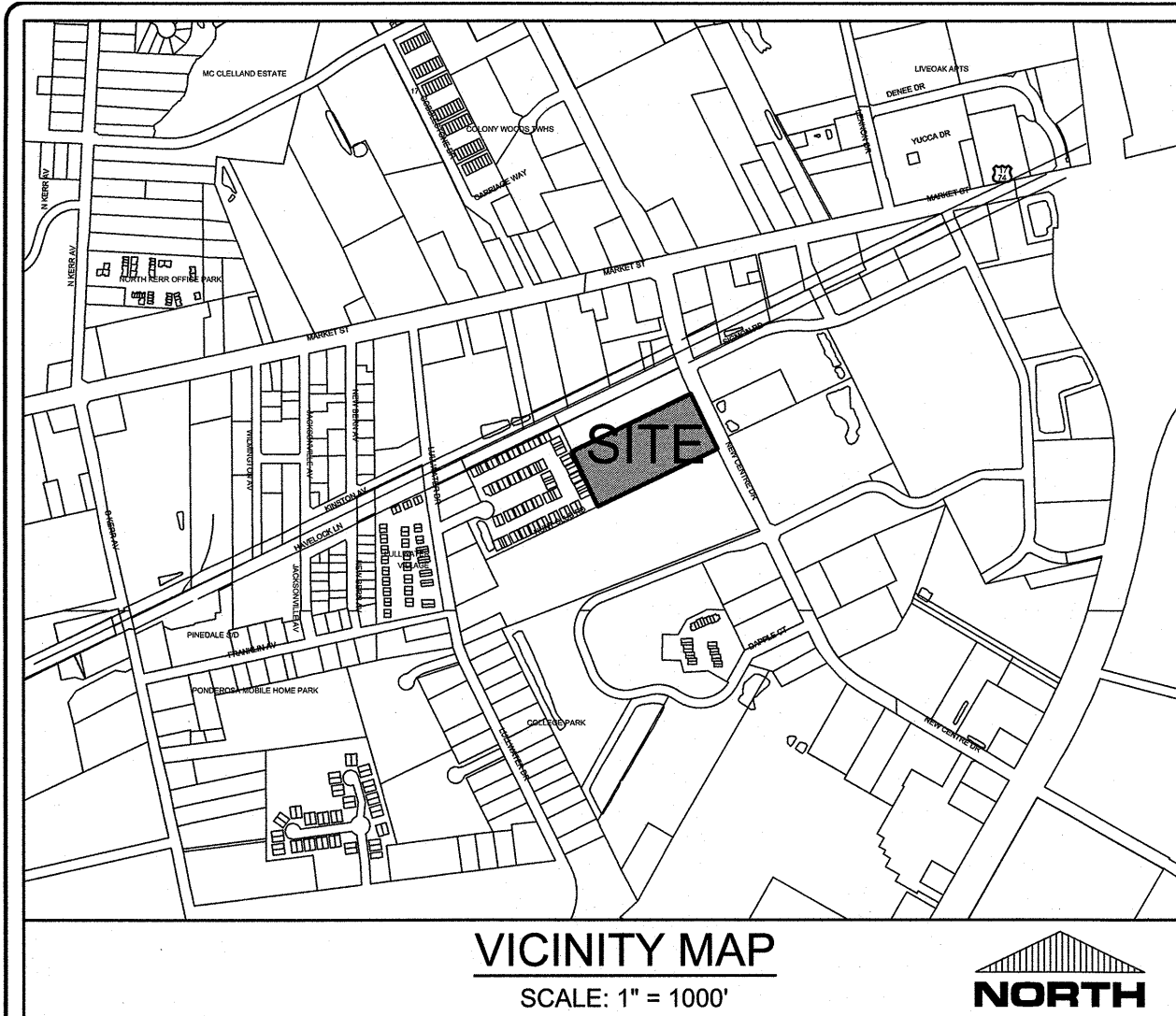
PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN:
RELEASED FOR CONST.:

DRAWING INFORMATION:
DATE: 1-17-19
SCALE: 1"=40'
DESIGNED: P. BULLARD
CHECKED: P. BULLARD
01/16/19

SEAL
NORTH CAROLINA
PROFESSIONAL ENGINEER
ROBERT P. BULLARD
031591
01/16/19

C-2.1

PEI JOB#: 18204.PE

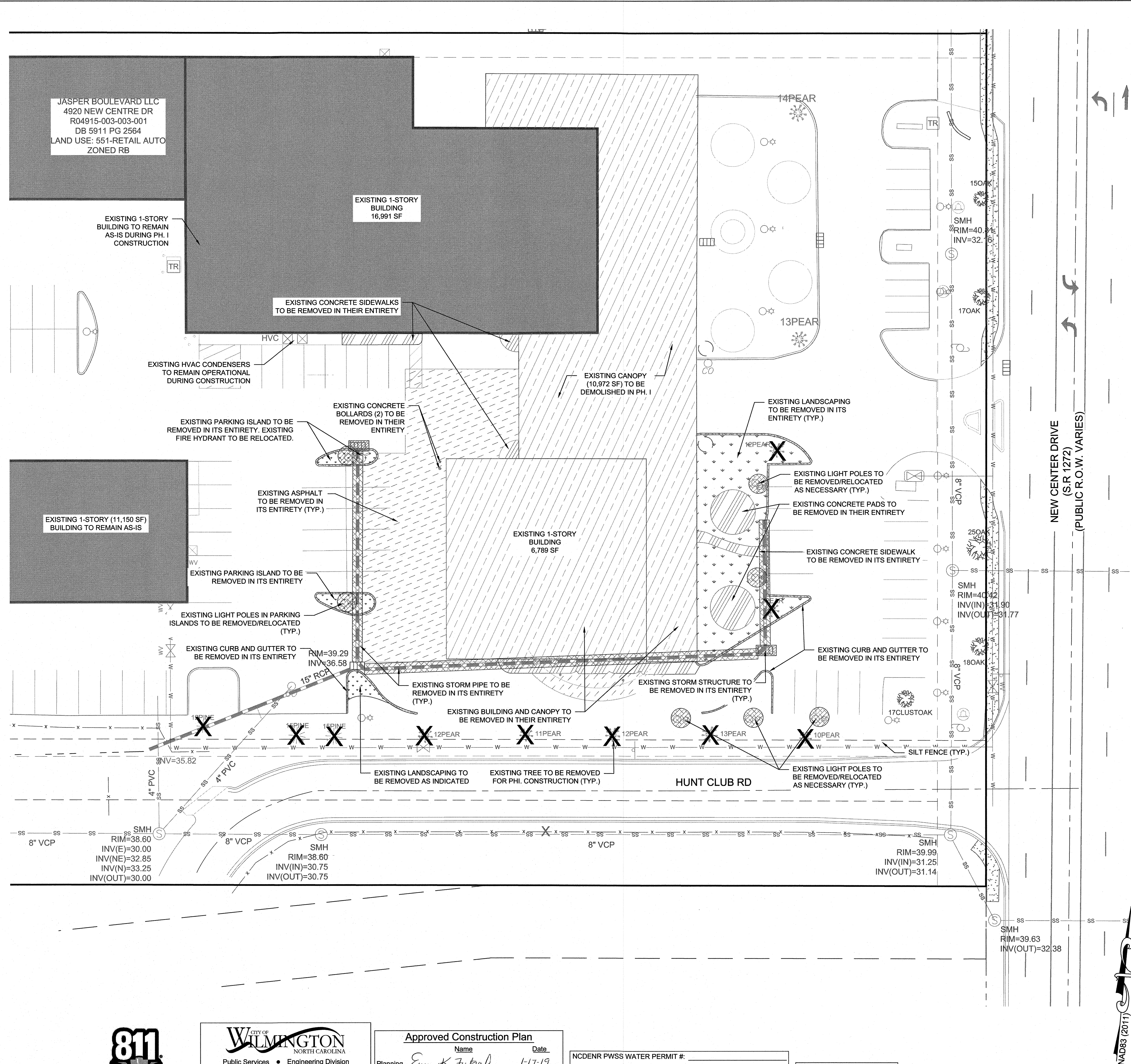


- DEMOLITION NOTES:**
- 1.) CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
 - 2.) CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS FOR SPECIFIC TREE REMOVAL.
 - 3.) CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO NEW CENTER DRIVE WITHOUT THE WRITTEN PERMISSION FROM THE CITY OF WILMINGTON OR NCDOT.
 - 4.) ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS RULES AND REGULATIONS.
 - 5.) CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY OWNER/PROVIDER FOR DEMOLITION.

- EX. VEGETATION NOTES:**
- 1.) CONTRACTOR SHALL REMOVE SHRUBS AS NECESSARY ALONG THE BUILDINGS FOR CONSTRUCTION AS LONG AS THE SAME QUANTITY AND SPECIES ARE REPLACED WHEN CONSTRUCTION IS COMPLETE.

TREE PROTECTION FENCING NOTE:
PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES, AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGNAL/LIGHT/UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED
	EXISTING LANDSCAPING TO BE REMOVED

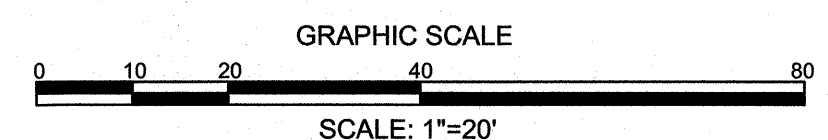


CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 1-17-19 Permit # 99032R2
Signed: S. S. R.

Approved Construction Plan
Name _____ Date _____
Planning: E. K. F. 1-17-19
Traffic: W. P. 1-17-19
Fire: J. P. 1-17-19

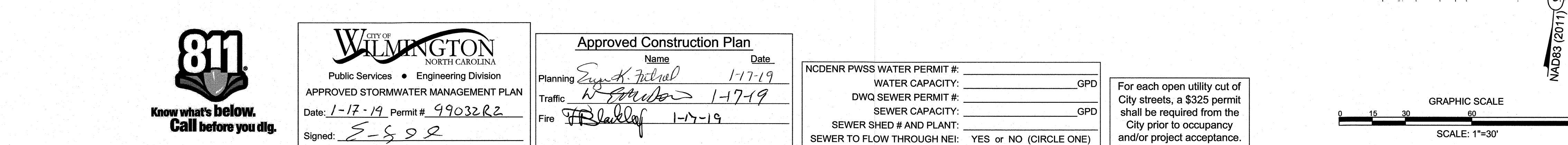
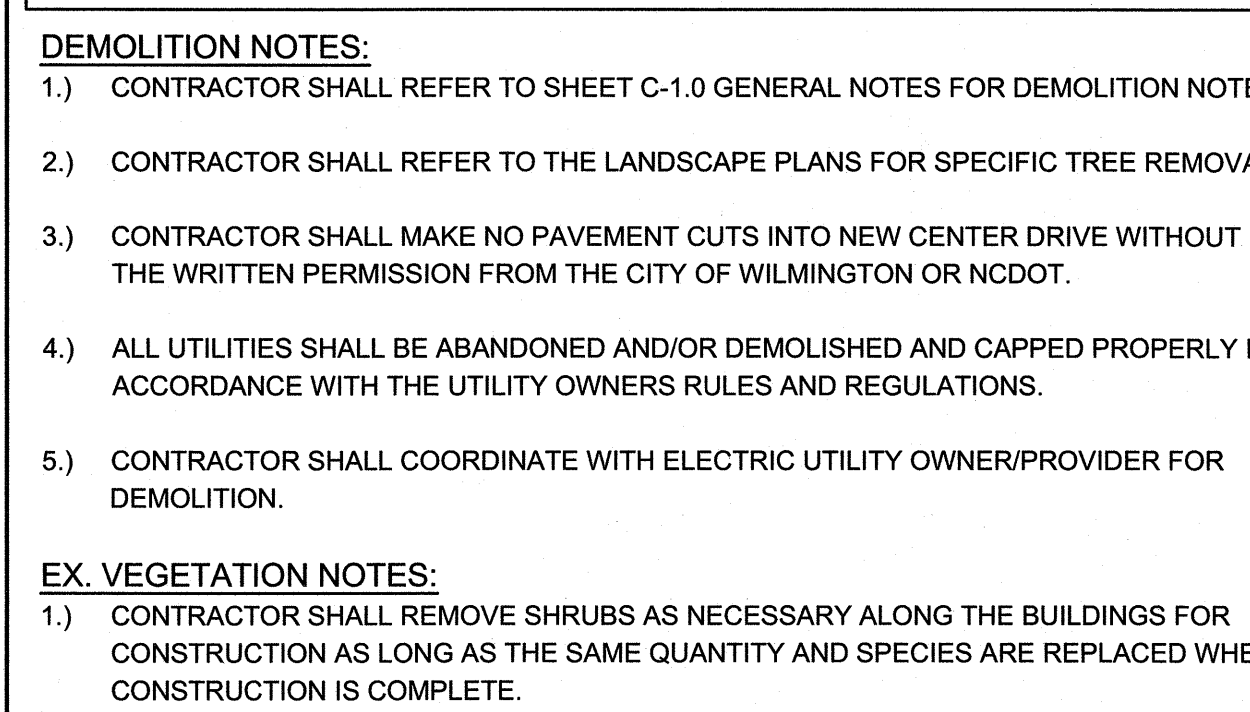
NC DENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)


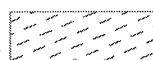
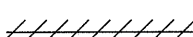
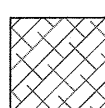
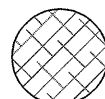
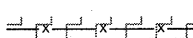
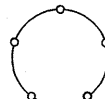



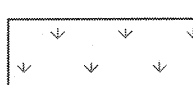
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ISSUED FOR CONSTRUCTION

REVISIONS:	
CLIENT INFORMATION:	
LS3P ASSOCIATES LTD. 101 N. THIRD ST., SUITE 500 WILMINGTON, NC 28401	
PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	
DEMOLITION PLAN - PH. I PORSCHE WILMINGTON 4920 NEW CENTRE DRIVE WILMINGTON, NC 28403	
PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST:	DRAWING INFORMATION: DATE: 01/16/19 DESIGNED: R. P. BALLARD DRAWN: R. P. BALLARD CHECKED: R. P. BALLARD
SEALED NORTH CAROLINA PROFESSIONAL ENGINEER ROBERT P. BALLARD 031591 01/16/19	C-2.2
PEI JOB#: 18204.PE	



SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGN/LIGHT/UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED
	EXISTING LANDSCAPING TO BE REMOVED



**Know what's below.
Call before you dig**

WILMINGTON
CITY OF
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

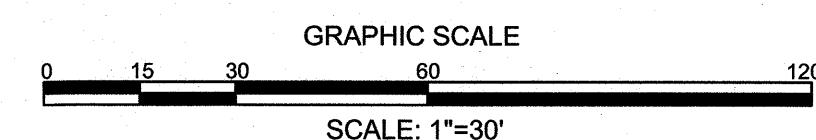
Date: 1-17-19 Permit # 99032R2

Signed: SSOR

Approved Construction Plan		
	Name	Date
Planning	Eugene K. Fitch	1-17-19
Traffic	W. E. Smith	1-17-19
Fire	J. B. Blackleaf	1-17-19

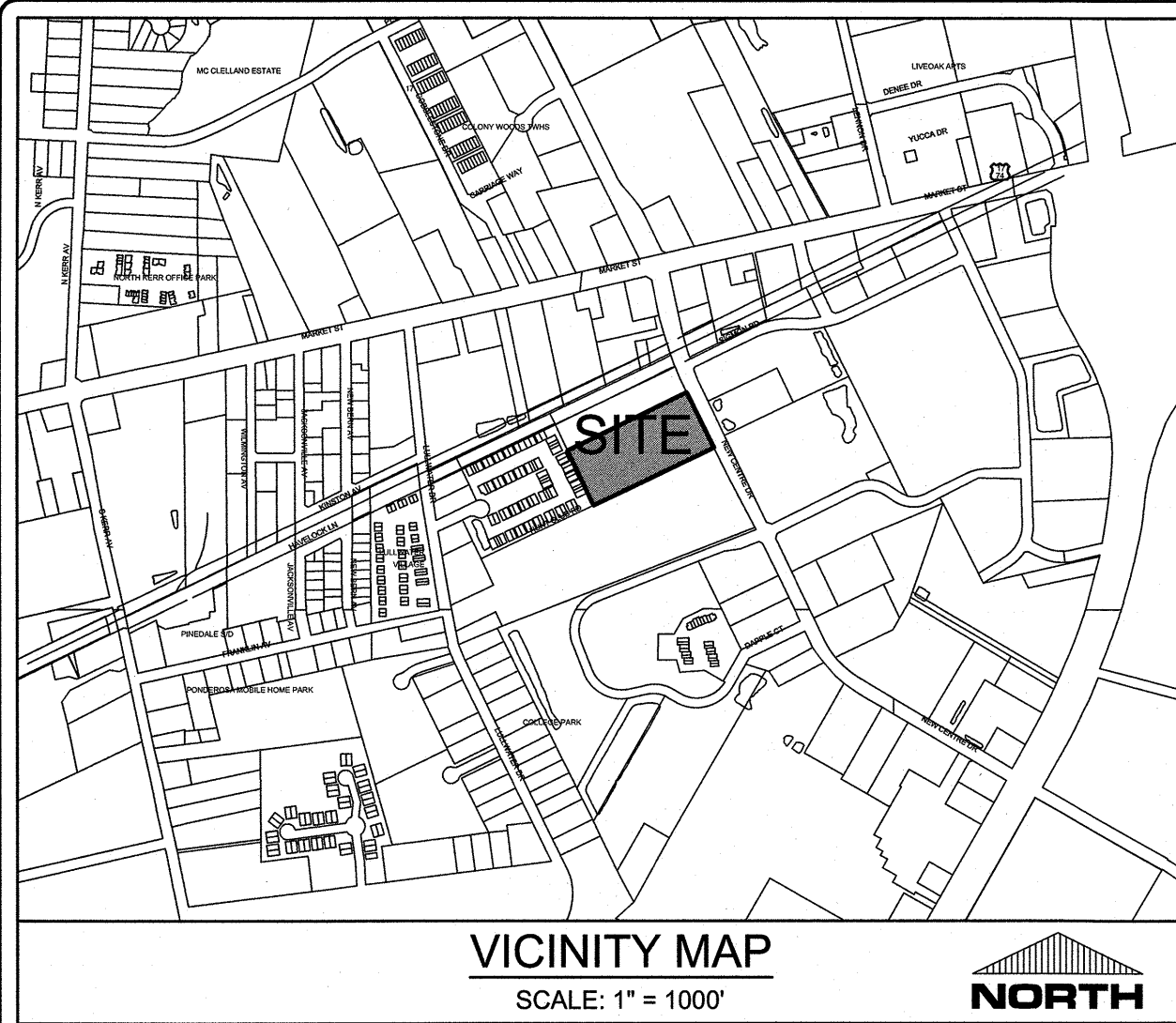
NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

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ISSUED FOR CONSTRUCTION

<div>PEI JOB#: 18204.PE</div>	<div><div>01/15/19</div><div><div>031591</div><div>SEAL</div><div>ENGINEER</div><div>ROBERT P. BILLARD</div><div>NORTH CAROLINA</div></div></div>	<div>PROJECT STATUS</div> <div>CONCEPTUAL LAYOUT:</div> <div>PRELIMINARY LAYOUT:</div> <div>RELEASED FOR CONST.</div>	<div>DEMOLITION PLAN - PH. II</div> <div><div>PORSCHE WILMINGTON</div><div>4920 NEW CENTRE DRIVE</div><div>WILMINGTON, NC 28403</div></div>	<div><div>PARAMOUNT</div><div>ENGINEERING, INC.</div><div>122 Cinema Drive</div><div>Wilmington, North Carolina 28403</div><div>(910) 791-6707 (O) (910) 791-6760 (F)</div><div>NC License #: C-2846</div></div>	<div>CLIENT INFORMATION:</div> <div><div>LS3P ASSOCIATES LTD.</div><div>101 N. THIRD ST., SUITE 500</div><div>WILMINGTON, NC 28401</div></div>	<div>REVISIONS:</div> <table><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>										



- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE ROADS ARE PAVED.
 - CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
 - ALL PROPOSED SPOT ELEVATIONS SHOWN ARE PROPOSED EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - CONNECT ROOF DRAINS AS SHOWN. THERE IS SOME ROOF DRAINS ON EXISTING BUILDINGS AND SOME PARKING THAT DOES NOT CARRY FLOW TOWARDS THE POND, BUT OFFSITE TOWARDS HUNT CLUB RD. DITCH. IF THERE ARE ANY DRAINAGE QUESTIONS, PLEASE NOTIFY OWNER AND ENGINEER PRIOR TO MAKING CONNECTIONS.
 - ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
 - THE CONTRACTOR SHALL USE EITHER RCP (CL. III or CL. IV) OR ADS N-12 WT PIPE FOR THE STORM DRAINAGE SYSTEM UNLESS NOTED OTHERWISE. IF THE CONTRACTOR CHOOSES TO USE ADS N-12 WT STORM PIPE, IT SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.
 - CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE IF A GEOTECHNICAL ENGINEERING REPORT WAS COMPLETED FOR THE SITE.
 - CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF DISTURBANCE LINE. THE SILT FENCE LINETYPE IS OFFSET ON THE DRAWING FOR CLARITY.

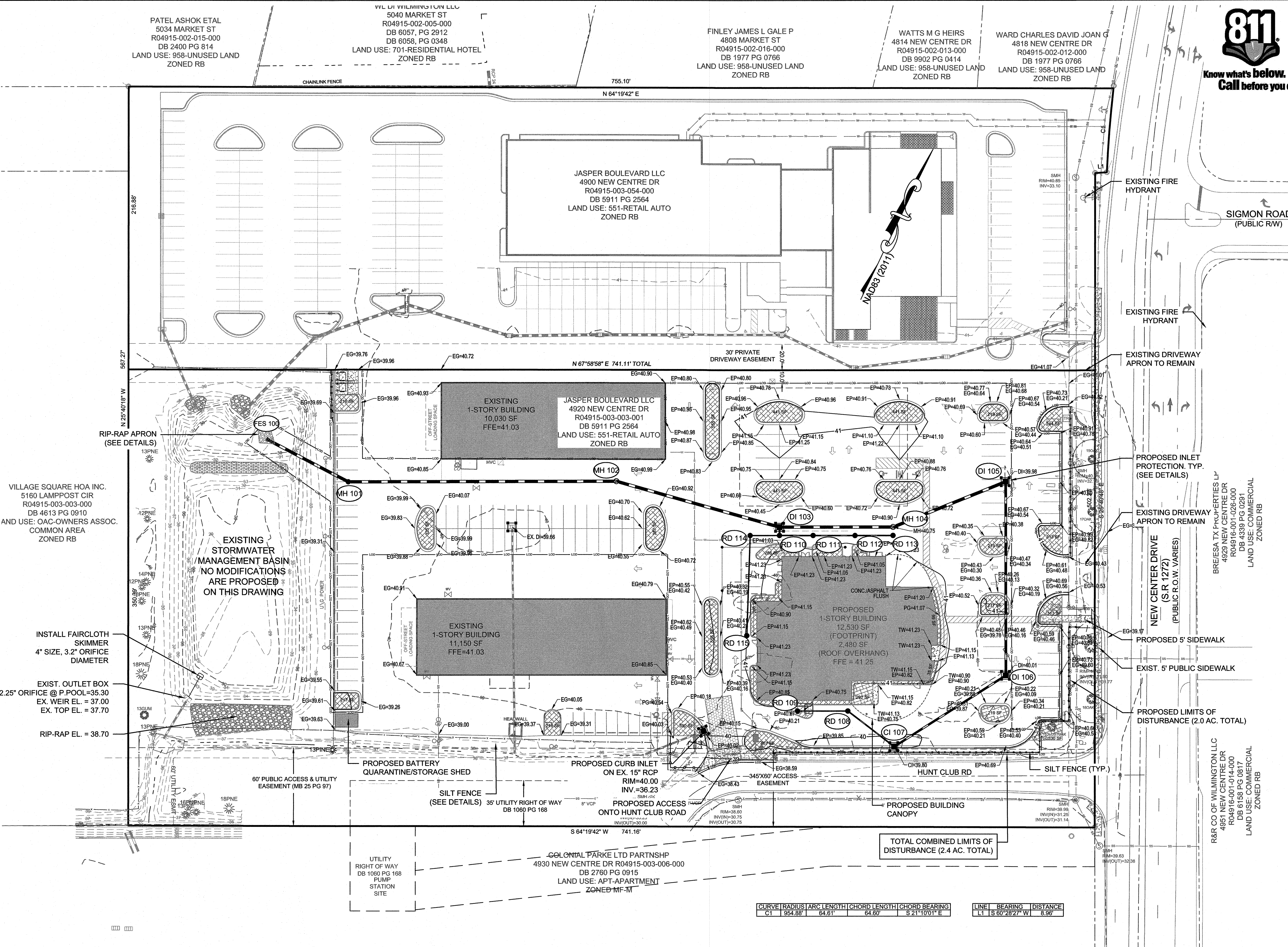
- ASPHALT AREA NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

- BUILDING PAD NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH STRUCTURAL DRAWINGS.

- STORMWATER NOTES:**
- A PORTION OF THIS PROJECT, PORSCHE, DRAINS TO THE EXISTING ON-SITE STORMWATER WET DETENTION BASIN, AND THE EXISTING BMW SITE DRAINS TO THIS POND AS WELL.
 - CONTRACTOR SHALL MAINTAIN HUNT CLUB ROAD DITCH SECTION AND POND OUTFALL TO PROPERTY LINE. DITCH MUST BE FREE OF ALL DEBRIS AND ACCUMULATED SEDIMENT WHILE PROVIDING POSITIVE DRAINAGE FROM EXISTING 15" RCP TO PROPERTY CORNER.

STORM SCHEDULE:

Upstream Node	Downstream Node	Diameter (in)	Upstream Pipe Invert (ft)	Downstream Pipe Invert (ft)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)	Downstream Rim Elev (ft)	Pipe Material
RD 109	RD 108	6	38.17	37.86	39	0.80	40.60	40.54	HDPE
RD 108	CI 107	8	37.69	37.33	45	0.80	40.54	39.80	HDPE
CI 107	DI 106	15	36.70	35.69	102	0.99	39.80	40.01	RCP IV
DI 106	DI 105	18	35.69	34.94	149	0.50	40.01	39.98	RCP III
DI 105	MH 104	24	34.94	34.48	93	0.50	39.98	40.28	RCP III
MH 104	DI 103	24	34.48	34.04	87	0.50	40.28	39.95	RCP III
DI 103	MH 102	24	34.04	33.39	130	0.50	39.95	39.95	RCP III
MH 102	MH 101	24	33.39	29.39	206	1.95	39.95	39.90	RCP III
MH 101	FES 100	24	29.39	29.00	78	0.50	39.90	39.00	RCP III
RD 113	RD 112	8	34.54	34.39	29	0.50	40.90	39.99	HDPE
RD 112	RD 111	8	34.39	34.23	32	0.50	39.99	39.96	HDPE
RD 111	RD 110	8	34.20	34.07	26	0.50	39.96	39.94	HDPE
RD 110	DI 103	12	34.07	34.04	6	0.50	39.94	39.95	HDPE
RD 115	RD 114	6	34.57	34.19	77	0.50	39.87	40.50	HDPE
RD 114	RD 110	6	34.19	34.07	22	0.50	40.50	39.94	RCP III



- NOTATION:**
- CI = CURB INLET
 - DI = DROP INLET
 - CO = CLEANOUT
 - DDI = DOUBLE DROP INLET
 - MH = STORM DRAIN MANHOLE
 - RD = ROOF DRAIN CLEANOUT
 - FFE = FINISHED FLOOR ELEVATION
 - BPE = BUILDING PAD ELEVATION

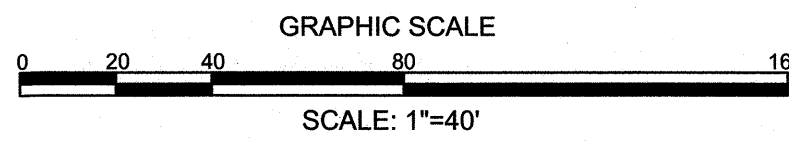
- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING GRADE SPOT ELEVATION
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED SIDEWALK ELEVATION
 - PROPOSED GUTTER FLOW LINE
 - PROPOSED TOP OF CURB ELEVATION
 - INLET PROTECTION
 - LIMITS OF DISTURBANCE
 - SILT FENCE
 - TREE PROTECTION FENCING
 - DRAINAGE FLOW PATH
 - DRAINAGE INLET LABEL
 - SPILL GUTTER
 - ROCK INLET PROTECTION
 - GEOTECH BORING LOCATION
 - DRAINAGE FLOW PATH & SLOPE

NCDENR PWSS WATER PERMIT #:
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #:
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT:
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

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CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 1-12-19 Permit # 99032R2
Signed: S. S. S.

Approved Construction Plan
Name: _____ Date: _____
Planning: _____ 1-17-19
Traffic: _____ 1-17-19
Fire: _____ 1-19-19



REVISIONS:

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
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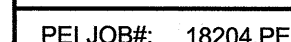
GRADING-DRAINAGE-EC PLAN

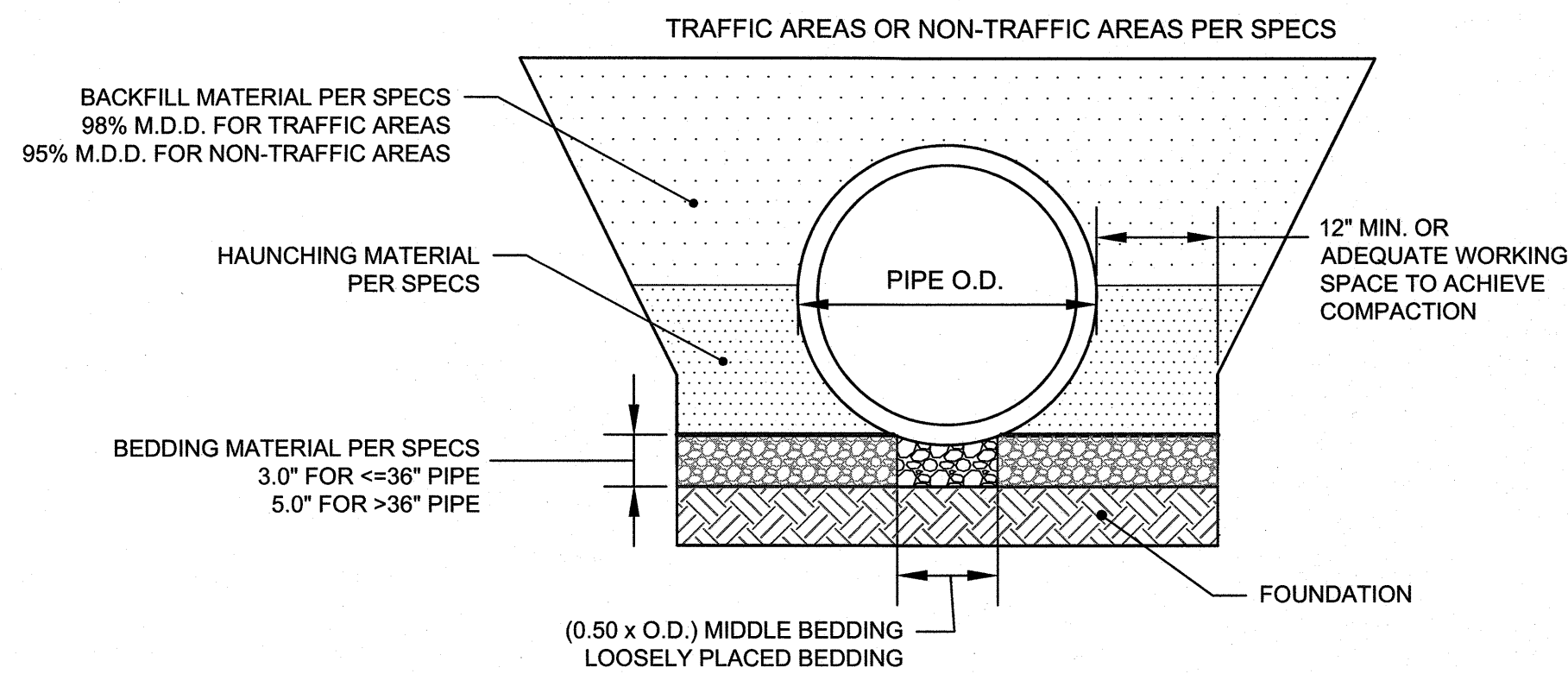
PROJECT STATUS
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.:

DRAWING INFORMATION
DATE: 01/16/19
1"=40'
DESIGNED: JES
DRAWN: JES
CHECKED: JES

C-3.0
PEI JOB#: 18204.PE

LS3P ASSOCIATES LTD.
101 N. THIRD ST., SUITE 500
WILMINGTON, NC 28401



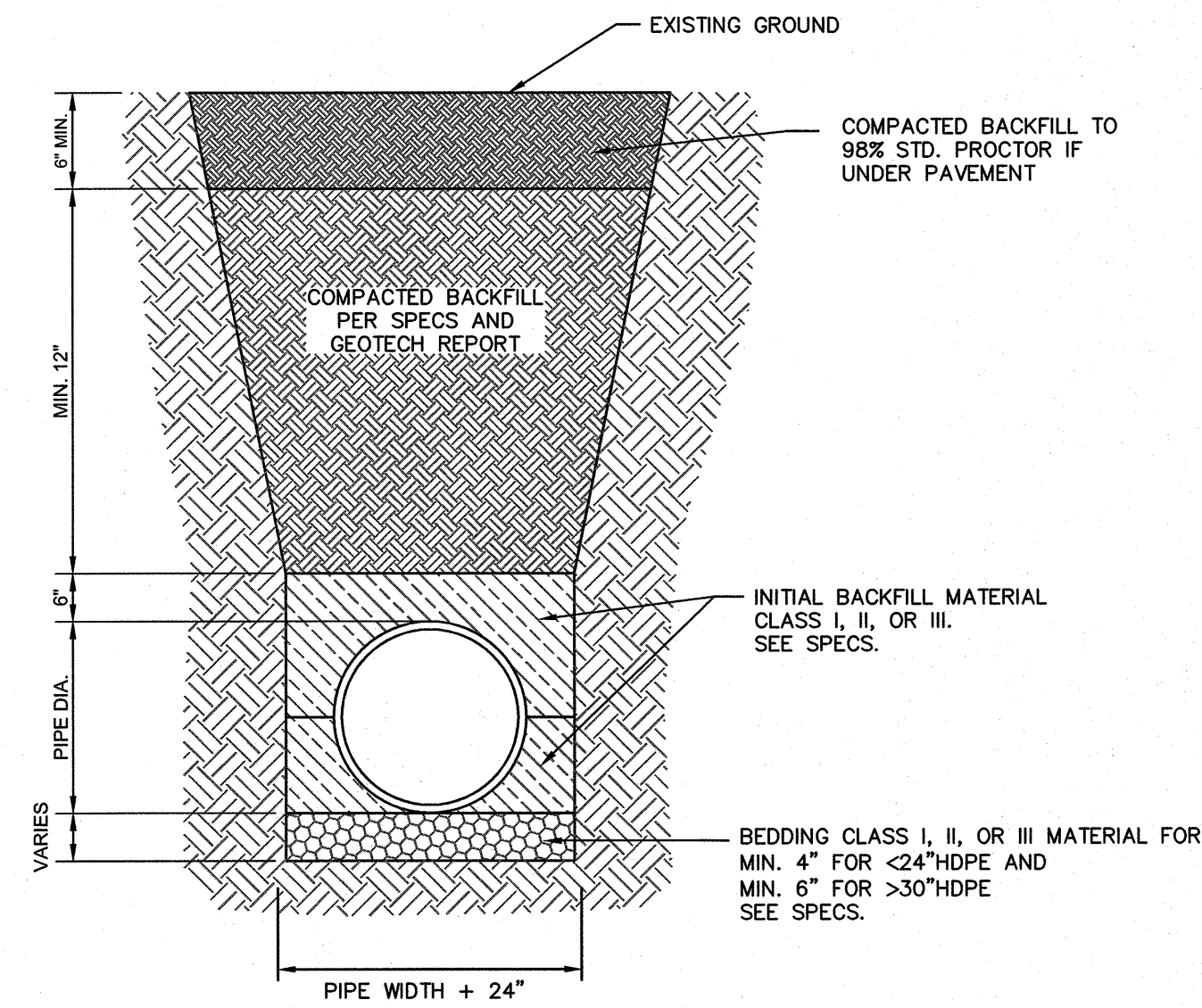


NOTES:

1. INSTALLATION DETAIL REFERENCES ASTM C-1479, "STANDARD PRACTICE FOR INSTALLATION OF CONCRETE SEWER, STORM DRAIN, AND CULVERT PIPE USING STANDARD INSTALLATIONS," LATEST EDITION.
2. EXCAVATION FOR STORM DRAINAGE PIPE SHALL BE TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
3. THE BEDDING SHALL PROVIDE A FIRM FOUNDATION OF UNIFORM DENSITY ALONG THE ENTIRE LENGTH OF PIPE. RECESSES SHALL BE MADE TO ACCOMMODATE BELLS AND JOINTS.
4. WHERE UNSUITABLE SOILS ARE ENCOUNTERED AS DEFINED PER THE SPECIFICATIONS, UNSUITABLE SOILS MUST BE UNDERCUT AND FILLED WITH SUITABLE SOIL AND COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT IN ACCORDANCE WITH ASTM D 698.

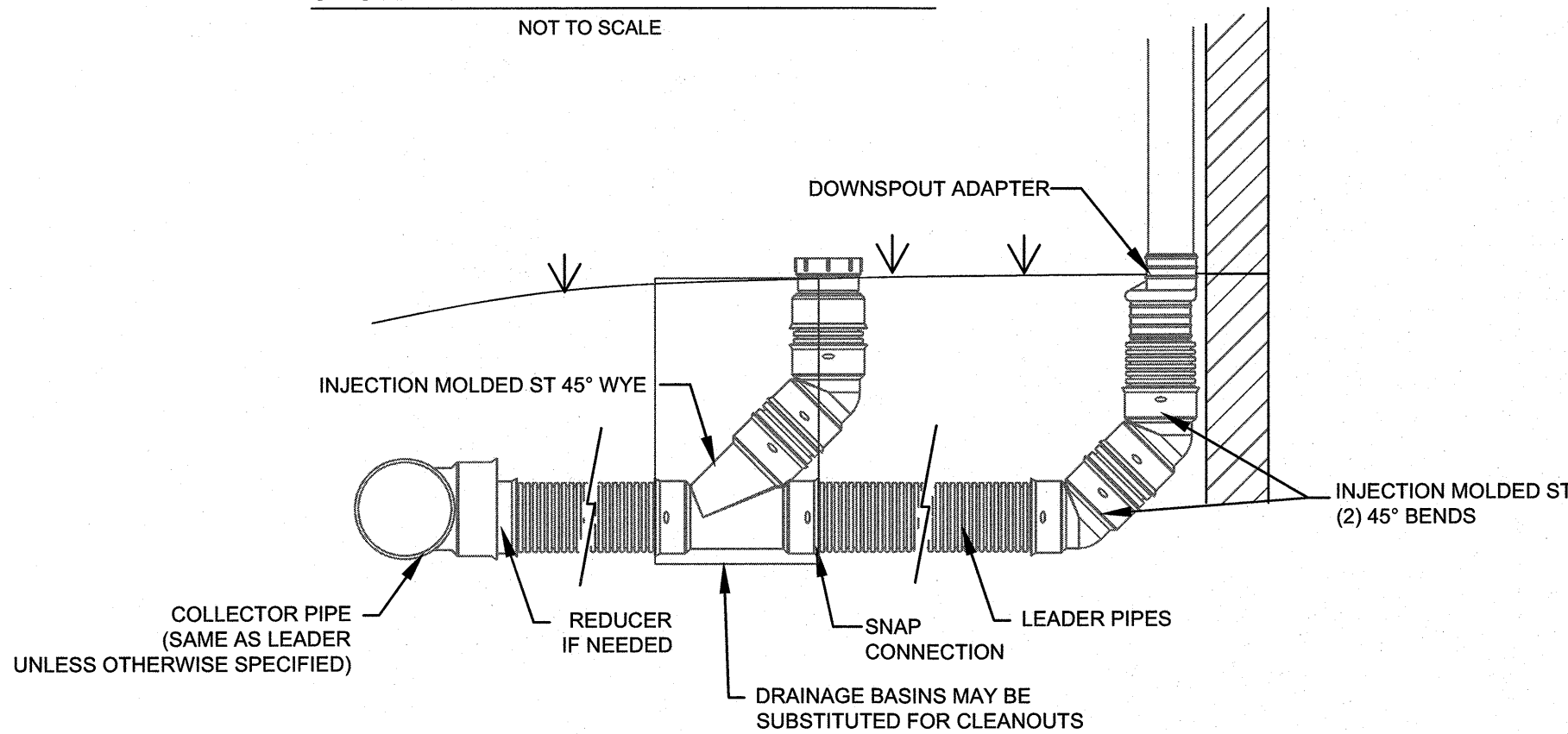
STORM DRAIN CONCRETE PIPE TRENCH

NOT TO SCALE



STORM DRAIN HDPE/HP PIPE TRENCH

NOT TO SCALE



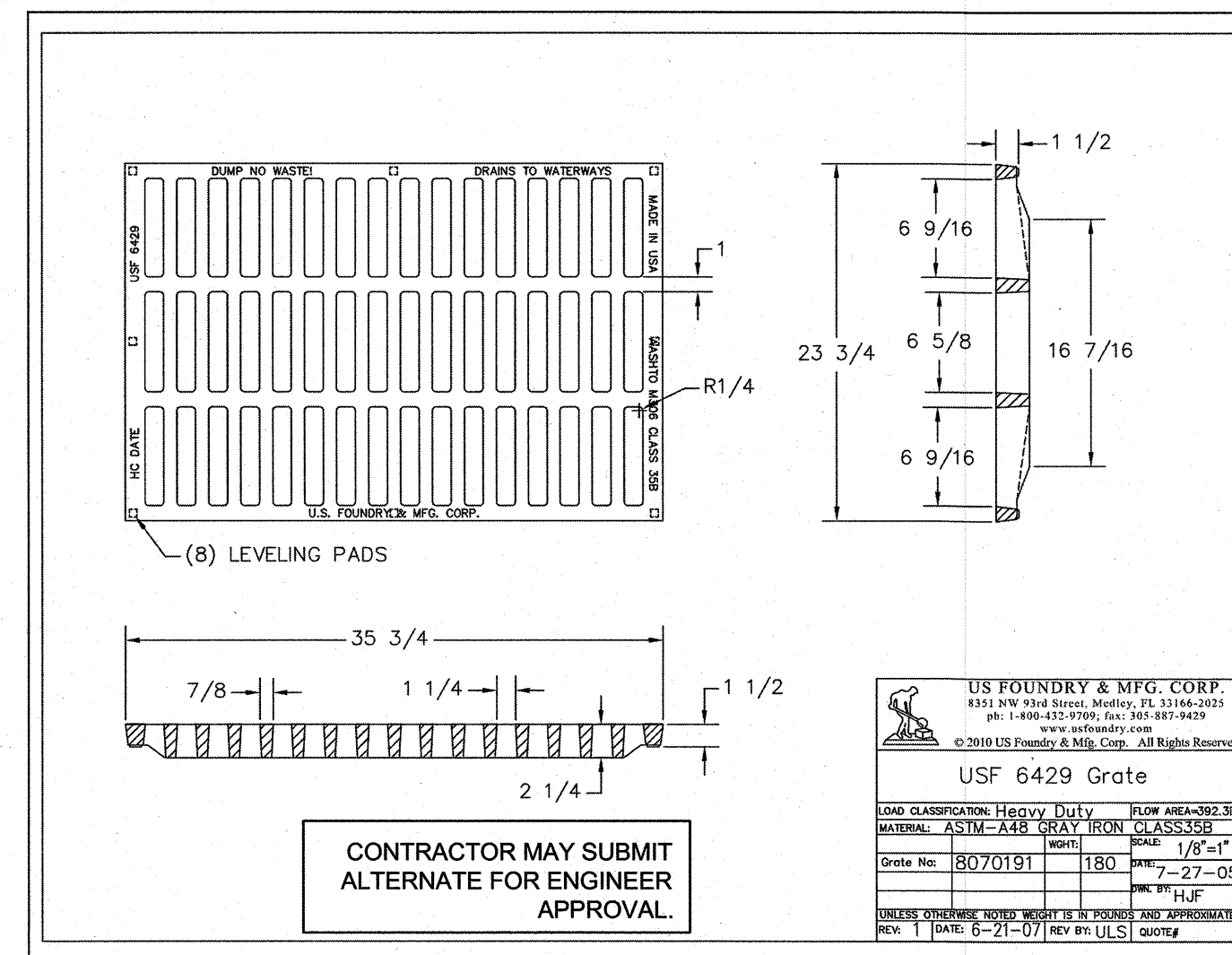
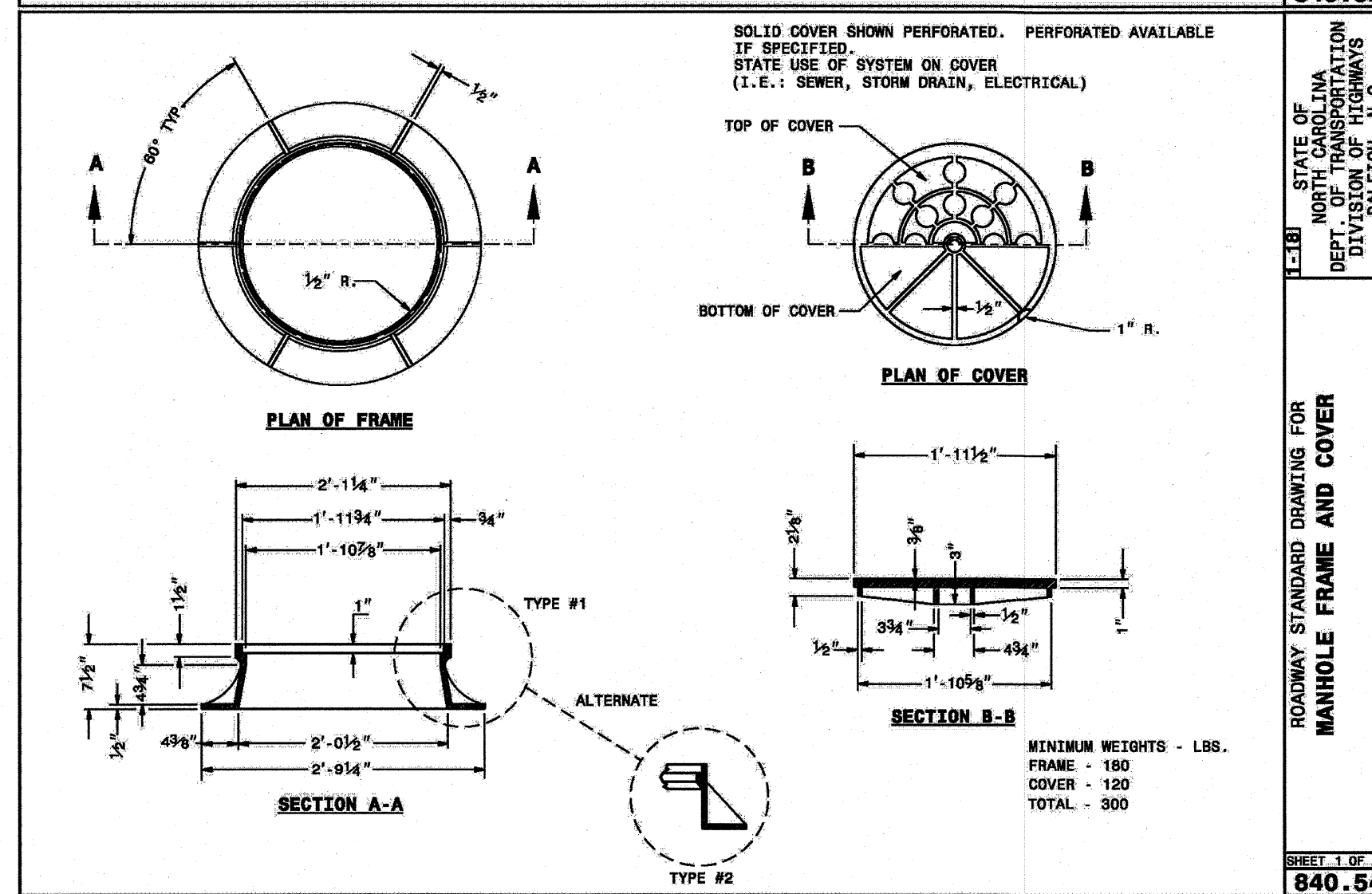
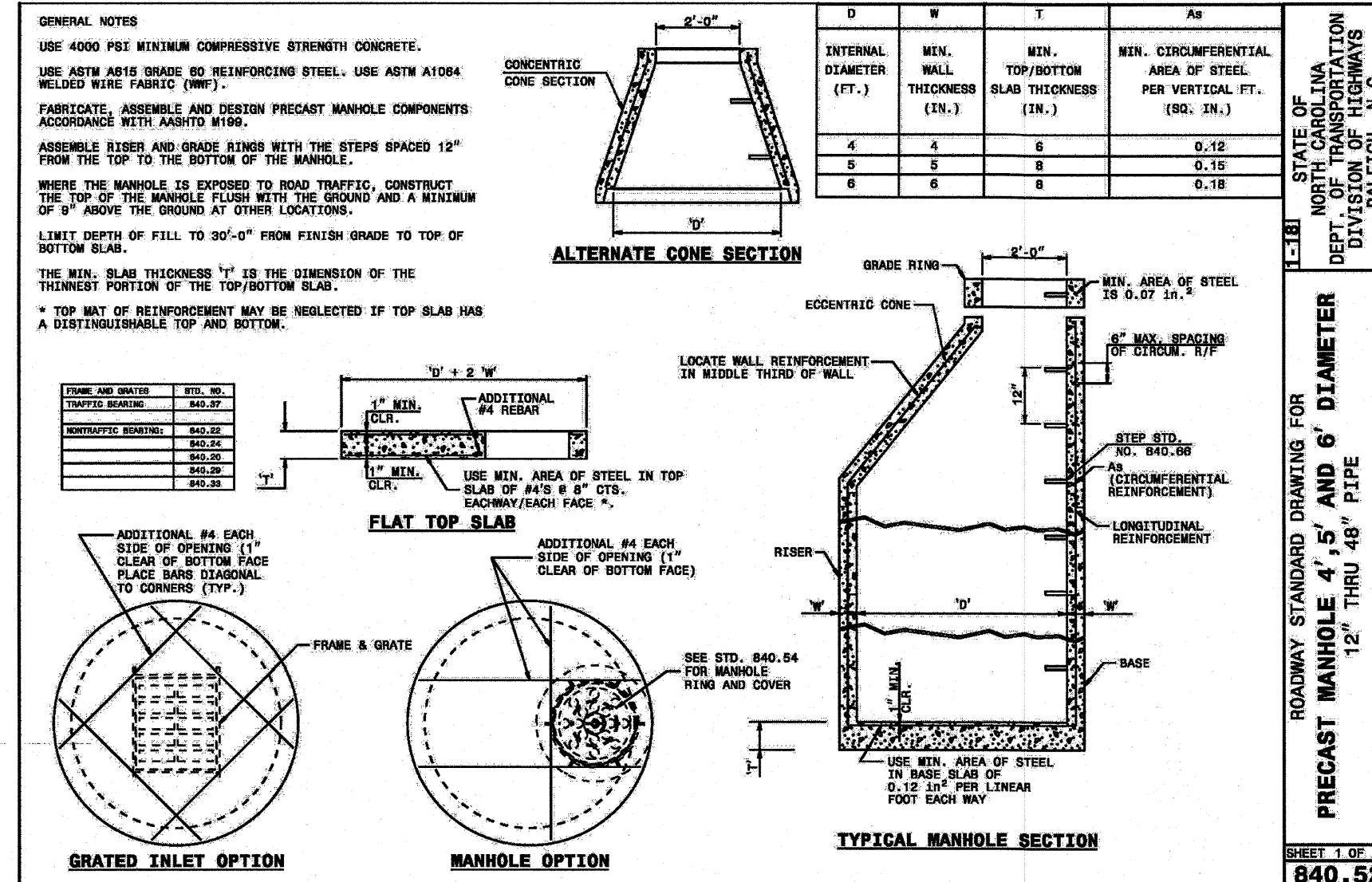
Schedule	
Downspout	Leader Pipe
2" x 3"	6" Dia.
3" x 4"	6" Dia.
4" x 5"	8" Dia.
5" x 5"	8" Dia.
6" x 6"	12" Dia.
3/4" Dia.	6" Dia.
5/8" Dia.	8" Dia.

NOTES:

1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED.
2. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE PIPE LOCATIONS WITH DOWNSPOUTS PER THE ARCHITECTURE PLANS. BUILDING CONTRACTOR IS NORMALLY RESPONSIBLE FOR EXTENDING DOWNSPOUT THROUGH CAP.
3. INSTALL PIPES CLEAR OF PORCHES, BOLLARDS, AND OTHER BUILDING APPURTENANCES.

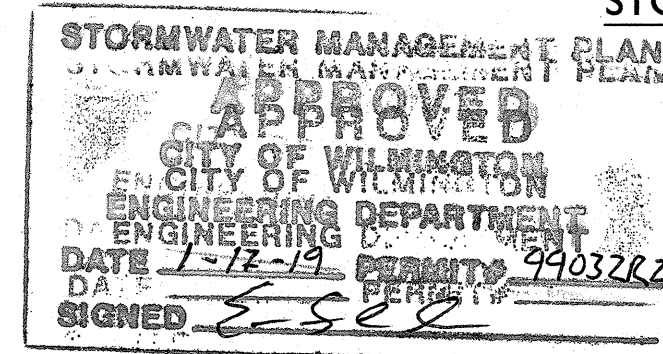
TYPICAL ROOF DRAINAGE WITH CLEANOUT

NOT TO SCALE

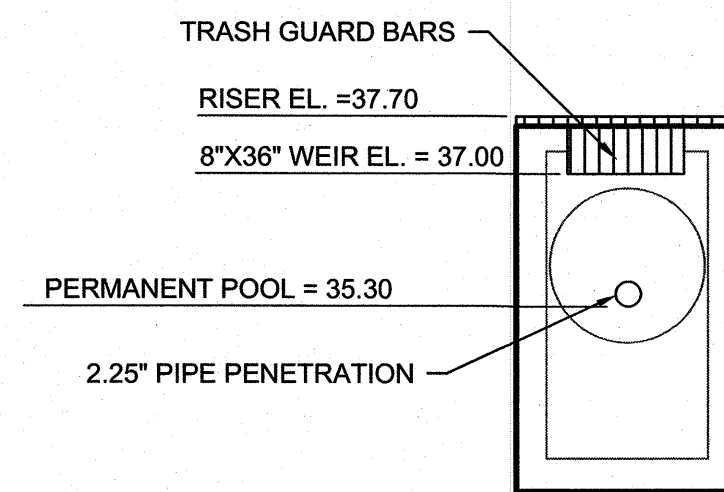


STORM DRAIN 2X3 INLET GRATE

NOT TO SCALE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

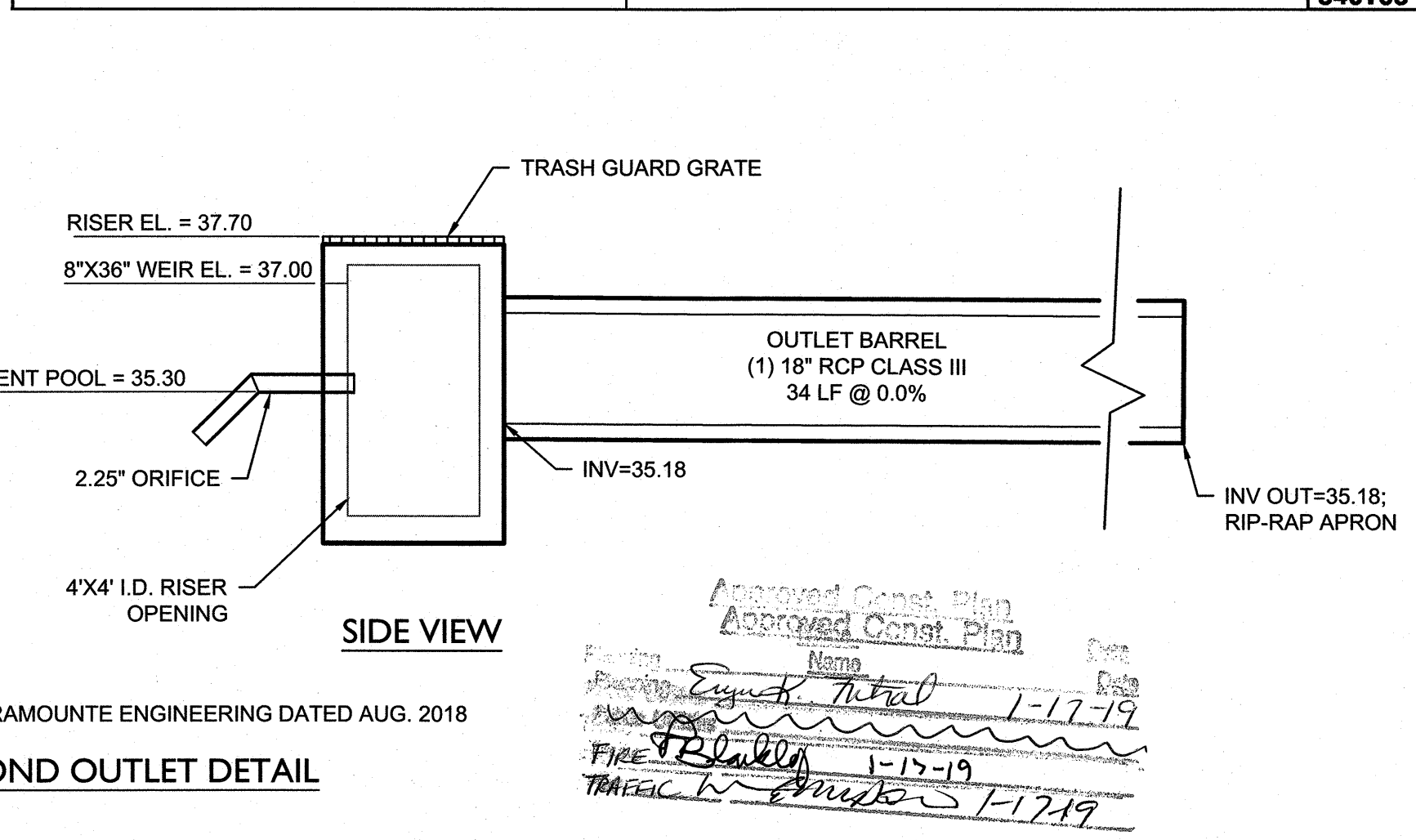
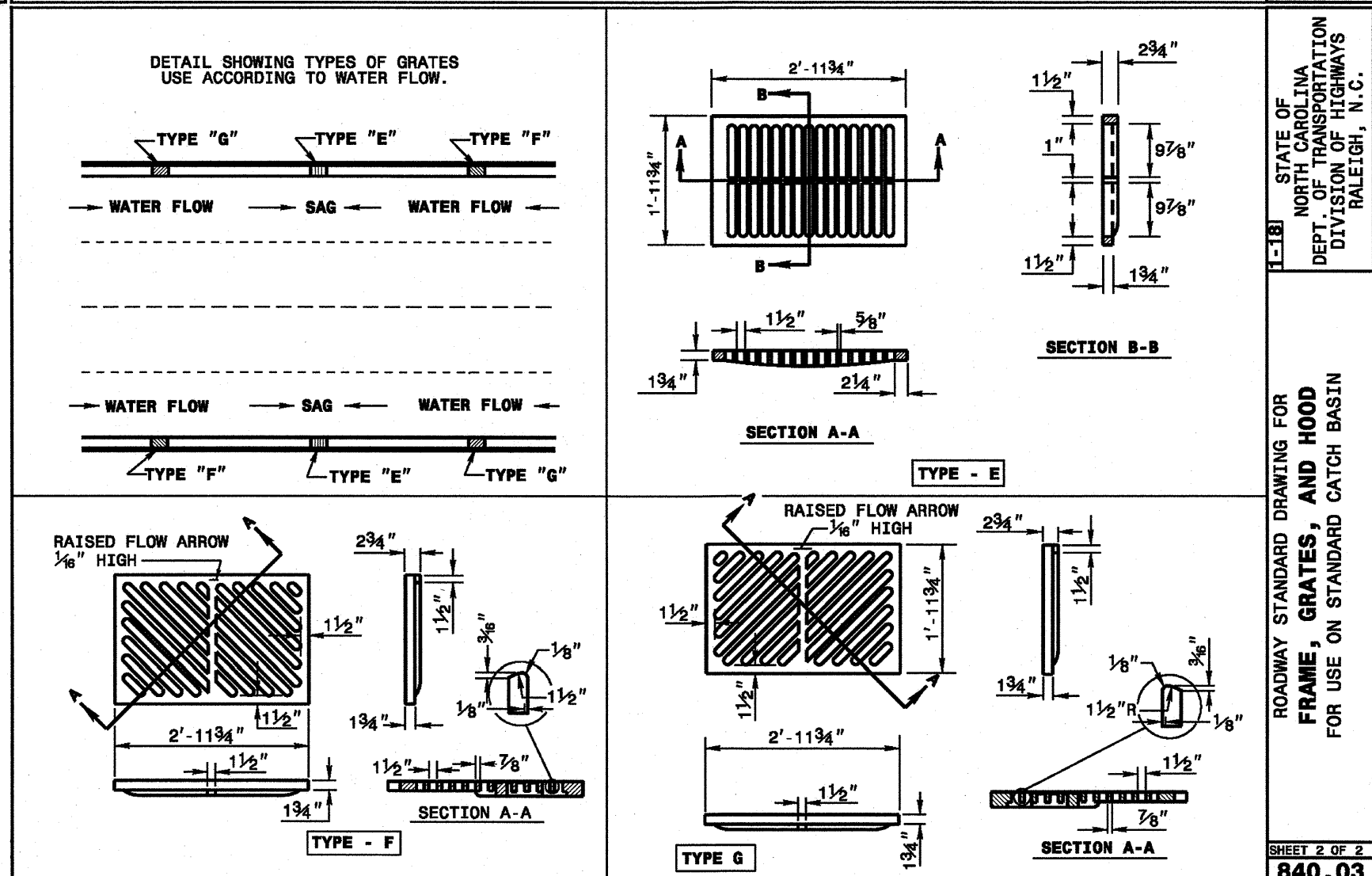
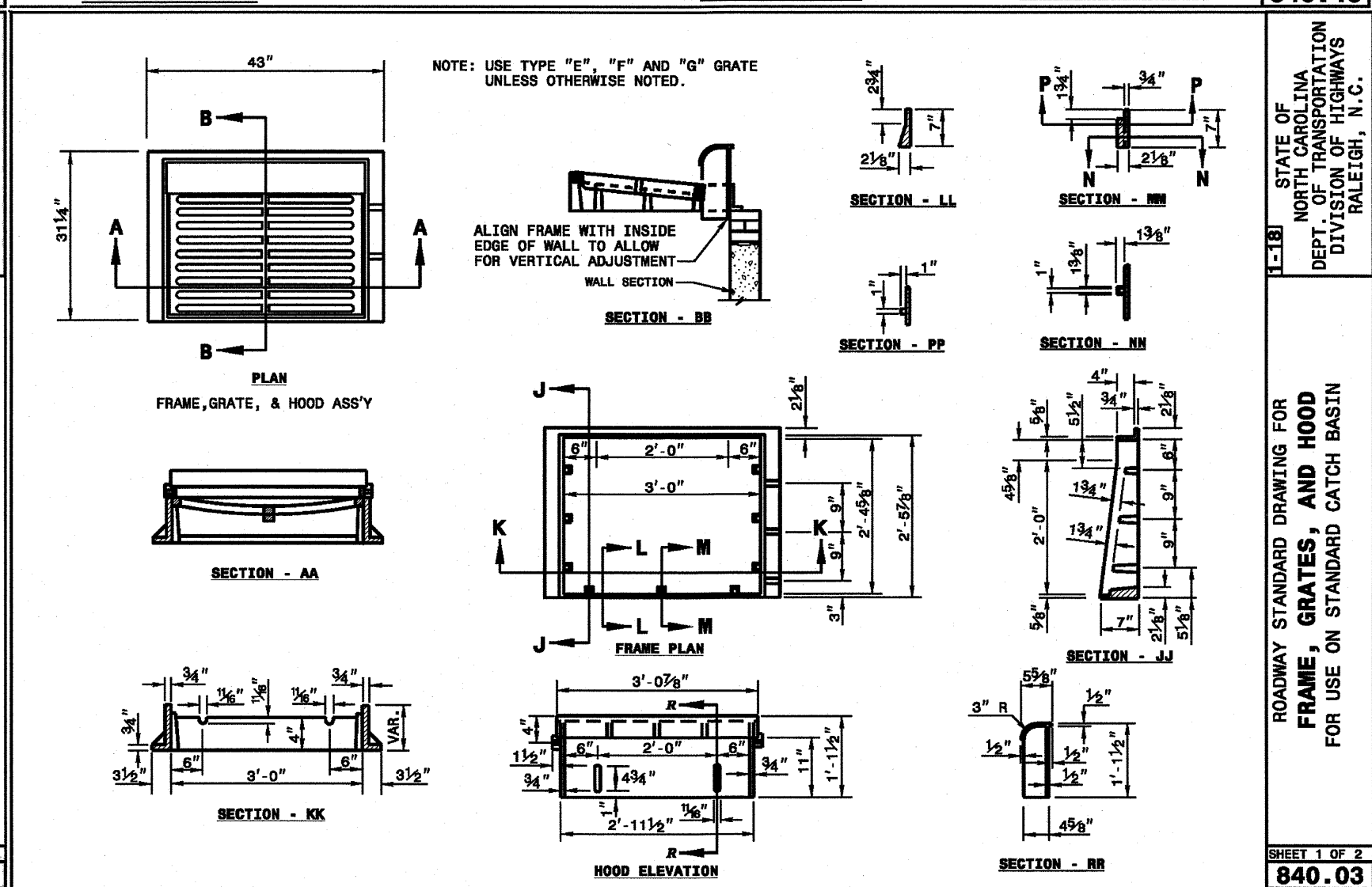
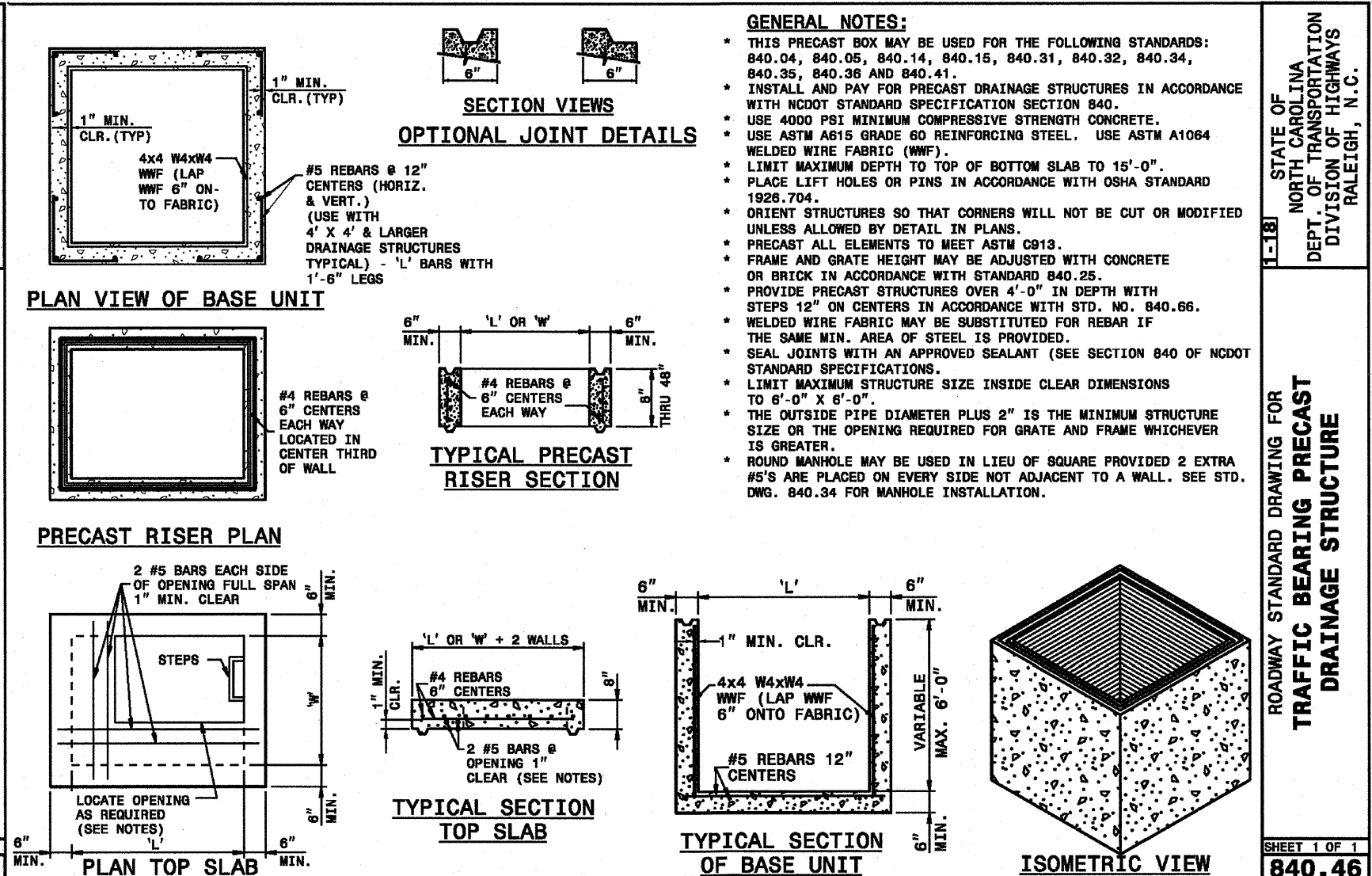
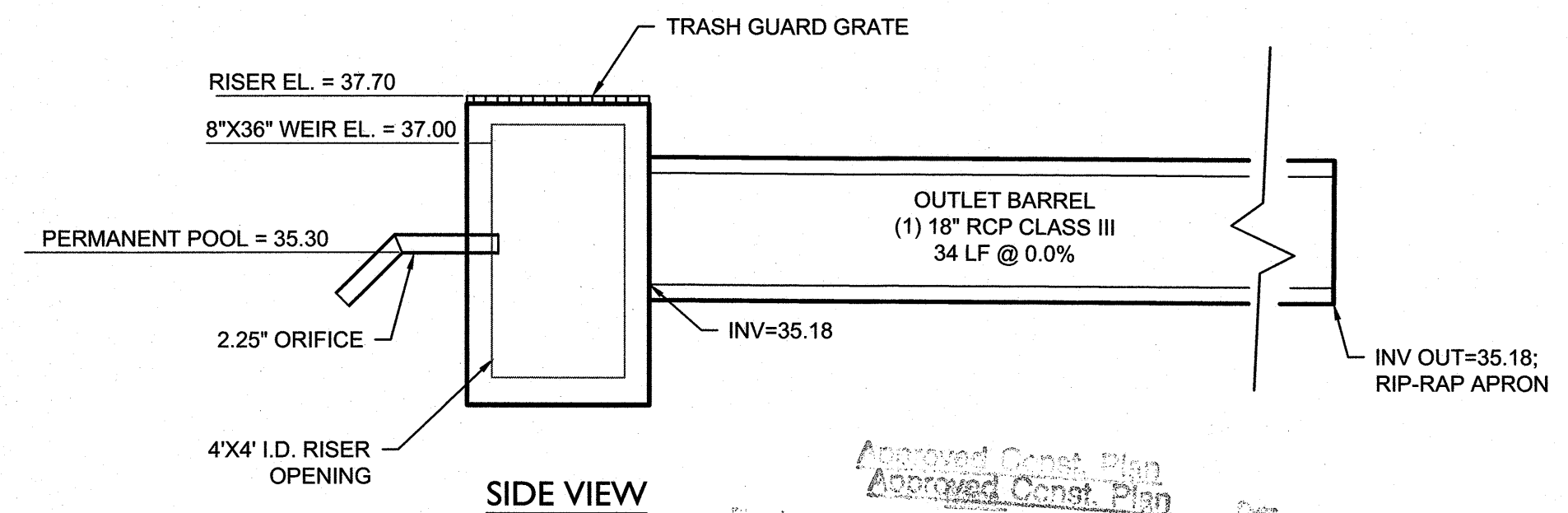


FRONT VIEW

NOTE: STRUCTURE ASBUILT FROM PARAMOUNT ENGINEERING DATED AUG. 2018

EXISTING POND OUTLET DETAIL

NOT TO SCALE



REVISIONS:

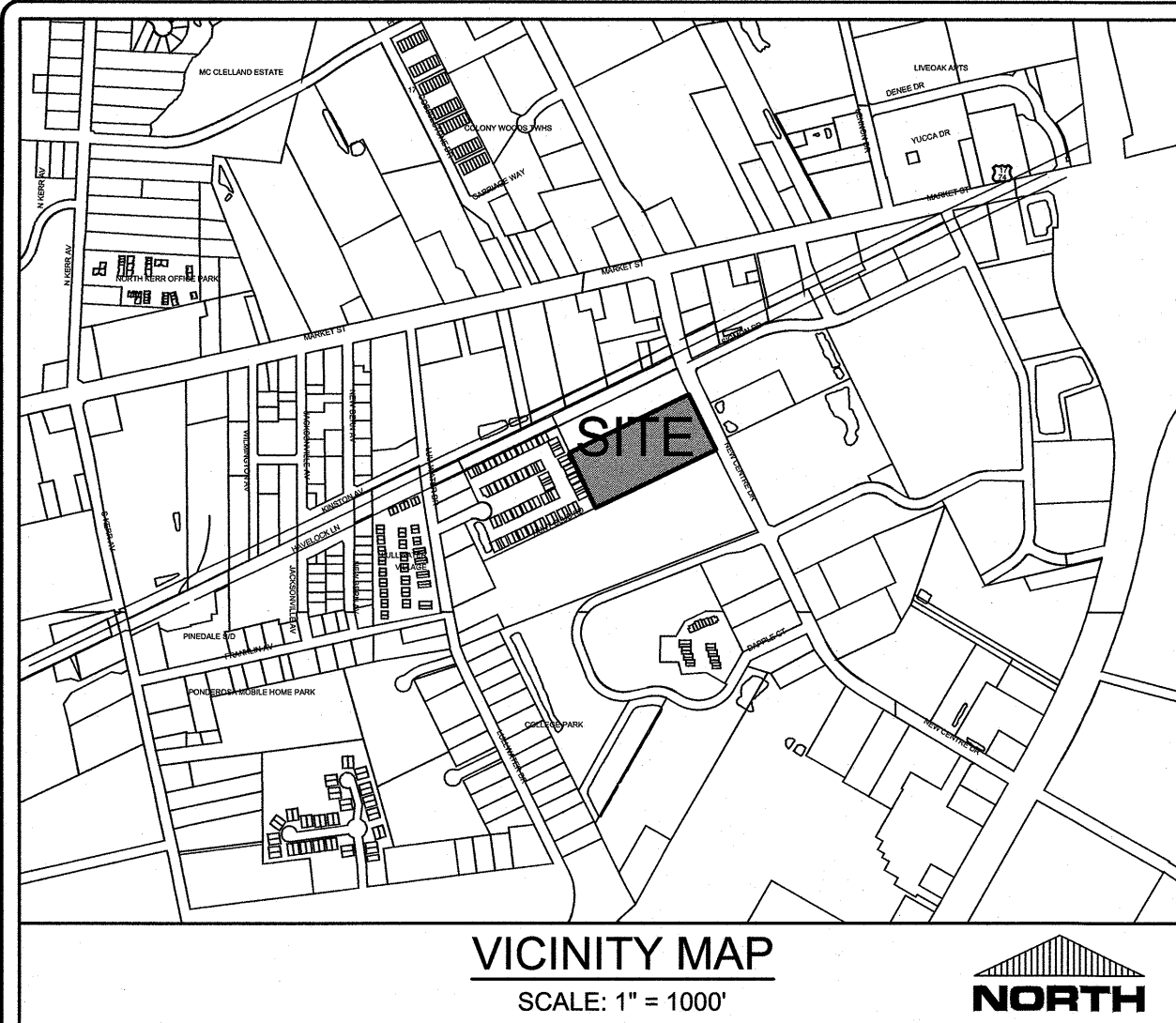
LSP ASSOCIATES LTD.
101 N. THIRD ST., SUITE 500
WILMINGTON, NC 28401

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

PORSCHE WILMINGTON
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403

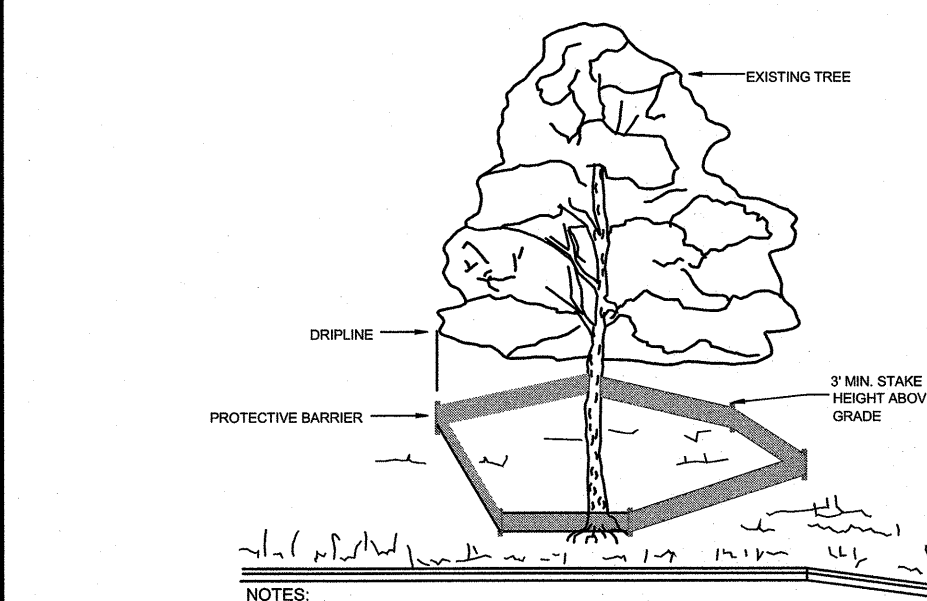
PROJECT STATUS
CONCEPT LAYOUT
PRELIMINARY LAYOUT
FINAL DESIGN
RELEASED FOR CONSTRUCTION
DRAWING INFORMATION
DATE: 01/16/19
DESIGNED: RPB
DRAWN: RPB
CHECKED: RPB
SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER
031591
ROBERT P. BAILLIE
01/16/19
C-5.5
PEI JOB#: 18204.PE

ISSUED FOR CONSTRUCTION



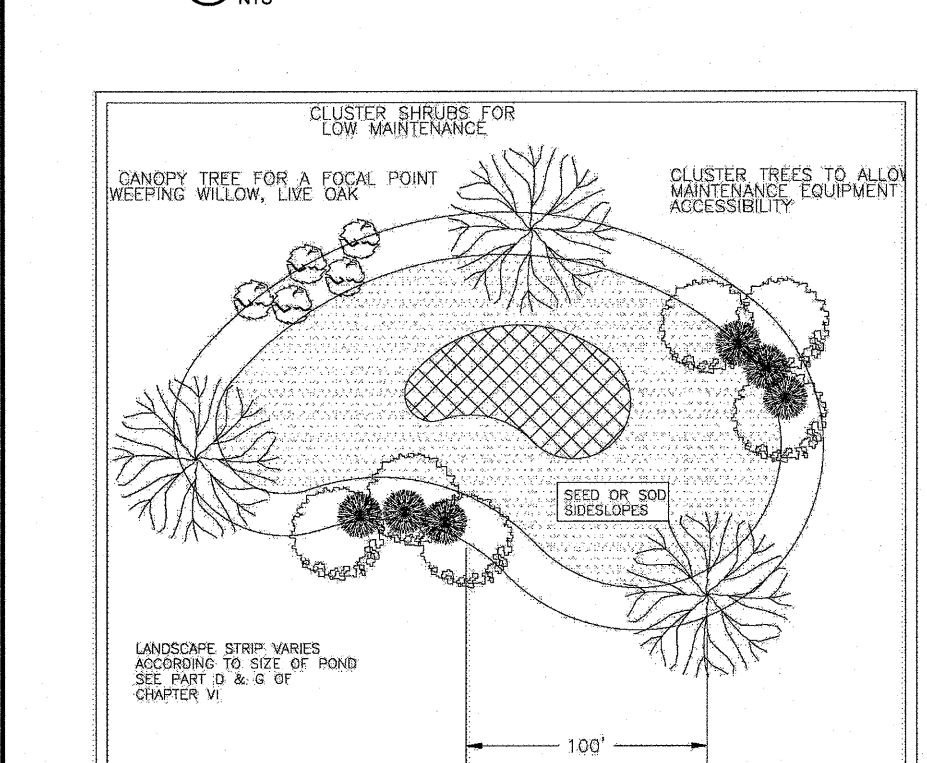
SITE INFORMATION
OWNER INFORMATION: JASPER BOULEVARD, LLC
1511 SAVANNAH HIGHWAY
CHARLESTON, SC 29407
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403
R04915-003-003-001
BK 5911, PG 2564
RB-REGIONAL BUSINESS
551 - RETAIL AUTO
551 - RETAIL AUTO
5.92+/- ACRES OR 257,875 SF
THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD
HAZARD AREA AS DETERMINED BY FEMA FLOOD
PANEL 3720313700 J, DATED APRIL 3, 2006
URBAN

PROJECT ADDRESS:
TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:
CURRENT ZONING:
EXISTING USE:
PROPOSED USE:
TOTAL SITE AREA:
FLOOD INFORMATION:
CAMA LAND USE CLASSIFICATION:



NOTES:
1. TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION.
2. INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION.
3. FENCING SHALL BE INSTALLED AT THE DIAPHRAGM OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER.
4. DIAPHRAGM - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIP OF THE OUTERMOST BRANCHES.
5. CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIBER.

METHOD OF TREE PROTECTION DURING CONSTRUCTION



NOTES:
1. If possible, locate pond where vegetation exists.
2. Suggest minimal clearing to conserve visual quality of site and minimize the additional of trees planting. An irregular shape provides a more natural appearance.
3. Landscape strip shall be a minimum slope of 2:1 in order to plant vegetation.
4. Provide a minimum of 3 inches of mulch around all vegetation.

STANDARD DETAIL
DATE: JULY 2007
DRAWN BY: RL
CHECKED BY: B.J. FLS
INCH: 1/8" = 1'-0"

NC DENR PWSS WATER PERMIT #:
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #:
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT:
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

APPROVED CONSTRUCTION PLAN
Name: _____ Date: _____
Planning: _____ 1-17-19
Traffic: _____ 1-17-19
Fire: _____ 1-17-19
Signed: _____

LANDSCAPE NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
2. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
3. ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
4. NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
5. ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
6. PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
7. ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
8. THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL PREPARE ALL SEEDS OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDS AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEveled GROUND.

PROPOSED DUMPSTER PAD AND ENCLOSURE AS REQUIRED PER SECTION 18-504
NOTE: THE ADJACENT PARCEL IS UNDER THE SAME OWNERSHIP AND CONDUCTS AUTO REPAIR SERVICES

VILLAGE SQUARE HOA INC.
5180 LAMPOST CIR
R04915-003-003-000
DB 4813 PG 0910
LAND USE: OAC-OWNERS ASSOC.
COMMON AREA
ZONED RB

EXISTING LANDSCAPE TO REMAIN AS BUFFER YARD

SIGHT DISTANCE TRIANGLE NOTES
1. ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (SEC. 18-506 CITY OF WILMINGTON LAND DEVELOPMENT CODE).

EXISTING LANDSCAPE LOCATED WITHIN STORM WATER FACILITY TO REMAIN AND PROVIDE COMPLIANCE WITH CITY STANDARDS PER DETAIL 15-16 (SEE LEFT)

ADDITIONAL LANDSCAPING TO BE PROVIDED WITHIN STORM WATER FACILITY WHERE REQUIRED TO SUPPLEMENT EXISTING VEGETATION TO MEET MINIMUM CITY STANDARDS

PLANT SCHEDULE

TREES (SHADE TREES)	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
GINCKGO BILOBA	MAIDENHAIR TREE	3" CAL	51	MATURE SIZE 50X80" H X 30" W.
SHRUBS	BUXUS X 'GREEN GEM' GREEN GEM BOXWOOD	3" HT	66	HEDGE TO 3' X 5' WIDE (SEE NOTES)
	FATSIA JAPONICA JAPANESE FATSIA	3 GAL	5	
	ILEX VOMITORIA 'NANA' DWARF YAUPOIN	3 GAL	153	
	NANDINA DOMESTICA 'HARBOUR DWARF' DWARF HEAVENLY BAMBOO	3 GAL	34	
	PODOCARPUS MACROPHYLLUS MAKI SHRUBBY YEW	3" HT	19	GROWTH TO 8' TALL
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
	OPHIOPOGON JAPONICUS 'SILVER DRAGON' MONDO GRASS	1 GAL 16" O.C.	76	
	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE	4" POTS @ 8" O.C.	7,695	

PLANT SCHEDULE

TREES (SHADE TREES)	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
GINCKGO BILOBA	MAIDENHAIR TREE	3" CAL	51	MATURE SIZE 50X80" H X 30" W.
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	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE	4" POTS @ 8" O.C.	7,695	

10. IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
11. THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDS AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
12. CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
13. ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDDED.
14. ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
15. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

FOUNDATION PLANTING REQUIREMENTS

REQ'D	PROV
418.4 SF	602 SF
421.1 SF	436 SF
378 SF	378 SF
345.6 SF	356 SF
1,563.1 SF	1,772 SF

FOUNDATION PLANTING REQUIREMENTS

REQ'D: 418.4 SF, 421.1 SF, 378 SF, 345.6 SF, 1,563.1 SF
PROV: 602 SF, 436 SF, 378 SF, 356 SF, 1,772 SF

FOUNDATION PLANTING REQUIREMENTS

REQ'D: 418.4 SF, 421.1 SF, 378 SF, 345.6 SF, 1,563.1 SF
PROV: 602 SF, 436 SF, 378 SF, 356 SF, 1,772 SF

LANDSCAPE CALCULATIONS:
STREET YARD LANDSCAPING - Sec. 18-477
New Center Drive
350.67 LF - 87' Driveways = 263 LF * 25 = 6,575 SF
6,575 SF / 600 SF = 10.95
1 CANOPY / 600 SF
6 SHRUBS / 600 SF
11 7 (NEW) / 4 (EXIST.) *
65.7 66
* (SEE PLAN SYMBOL "SY" FOR LOCATIONS, SPECIES, AND SIZES OF 4 EXISTING TREES TO BE RETAINED AND DESIGNATED AS STREET YARD CANOPY TREES)

PARKING LOT LANDSCAPING
Interior Area Landscaping - Sec. 18-481
110,368 SF * 20% SHADING
(16) TREES @ 707 SF EACH = 11,312 SF
(29) TREES @ 353.5 EACH = 10,251.5 SF
(2) TREES @ 176.75 EACH = 353.5 SF
(1) EXISTING CANOPY SHADE = 176.5 SF
(SEE PLAN FOR SF OF SHADE ASSIGNED FOR EACH TREE IN PARKING/VEHICULAR AREAS)

Parking Area Screening - Sec. 18-483
PARKING AREA SCREENING AT NEW CENTER DRIVE SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AND FIVE (5) FEET IN WIDTH AND MAY BE INCORPORATED INTO THE STREET YARD, PROVIDED THE STREET YARD IS FIFTEEN (15) OR MORE IN WIDTH

BUFFER YARDS - Sec. 18, 18-503
Existing vegetation along Hunt Club Road and at the west (near) boundary to Count as required Buffer Yard screening between the proposed project and the adjacent residential properties. (See Plan).
Additional vegetation shall be installed as required to meet the Buffer Yard requirements where existing vegetation does not provide required screening

PLANT SCHEDULE

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LEGEND:
PROPOSED TREE PROTECTION FENCE (SEE DETAIL "A" THIS SHEET)
EXISTING TREE TO REMAIN
PROPOSED CHAIN LINK FENCE
EXISTING TREE LINE TO REMAIN (INCLUDES BUFFER YARD)
PROPOSED STREETYARD BUFFER
SF OF SHADE PROVIDED PER TREE AT PARKING FACILITY
EXISTING TREE IN STREET YARD (SY) TO REMAIN AND COUNT TOWARDS STREET YARD PLANTING REQMTS
SF OF PLANTER AREA IN PARKING FACILITY
PROPOSED LANDSCAPE BUFFER(S) (SEE PLAN FOR DIMENSIONS)
EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL WORKSHEET, THIS SHEET)
FOUNDATION PLANTING REQUIREMENTS SF OF PLANTER AREA (LETTER INDICATES SIDE OF BLDG.)
STREET YARD PLANTING REQMTS SF OF PLANTER AREA IN STREET YARD
NEW TREE PLANTED TO PROVIDE REQ'D MITIGATION FOR SIGNIFICANT TREE REMOVAL (3 TREES TOTAL - SEE TREE REMOVAL & MITIGATION TABLE)

LEGEND:
PROPOSED TREE PROTECTION FENCE (SEE DETAIL "A" THIS SHEET)
EXISTING TREE TO REMAIN
PROPOSED CHAIN LINK FENCE
EXISTING TREE LINE TO REMAIN (INCLUDES BUFFER YARD)
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EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL WORKSHEET, THIS SHEET)
FOUNDATION PLANTING REQUIREMENTS SF OF PLANTER AREA (LETTER INDICATES SIDE OF BLDG.)
STREET YARD PLANTING REQMTS SF OF PLANTER AREA IN STREET YARD
NEW TREE PLANTED TO PROVIDE REQ'D MITIGATION FOR SIGNIFICANT TREE REMOVAL (3 TREES TOTAL - SEE TREE REMOVAL & MITIGATION TABLE)

LEGEND:
PROPOSED TREE PROTECTION FENCE (SEE DETAIL "A" THIS SHEET)
EXISTING TREE TO REMAIN
PROPOSED CHAIN LINK FENCE
EXISTING TREE LINE TO REMAIN (INCLUDES BUFFER YARD)
PROPOSED STREETYARD BUFFER
SF OF SHADE PROVIDED PER TREE AT PARKING FACILITY
EXISTING TREE IN STREET YARD (SY) TO REMAIN AND COUNT TOWARDS STREET YARD PLANTING REQMTS
SF OF PLANTER AREA IN PARKING FACILITY
PROPOSED LANDSCAPE BUFFER(S) (SEE PLAN FOR DIMENSIONS)
EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL WORKSHEET, THIS SHEET)
FOUNDATION PLANTING REQUIREMENTS SF OF PLANTER AREA (LETTER INDICATES SIDE OF BLDG.)
STREET YARD PLANTING REQMTS SF OF PLANTER AREA IN STREET YARD
NEW TREE PLANTED TO PROVIDE REQ'D MITIGATION FOR SIGNIFICANT TREE REMOVAL (3 TREES TOTAL - SEE TREE REMOVAL & MITIGATION TABLE)

REVISIONS:
1) REVISIONS PER CITY REVIEW COMMENTS.

CLIENT INFORMATION:
IS3P ASSOCIATES LTD.
101 N. THIRD ST., SUITE 500
WILMINGTON, NC 28401

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

LANDSCAPE PLAN
PORSCHE WILMINGTON
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403

PROJECT STATUS
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION
DATE: 01/16/19
DESIGNED: [Signature]
DRAWN: [Signature]
CHECKED: [Signature]

ISSUED FOR CONSTRUCTION

L-1.0
PEI JOB#: 18204.PE